

# **Wyre Forest District Council Local Plan Pre-Submission Publication September 2019**

## **Appendix A**

### **Heritage Impact Assessments for site allocations included within the Wyre Forest District Council Local Plan Pre-Submission Publication September 2019**

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# Appendix A1

## Heritage Impact Assessments for site allocations included within the Wyre Forest District Council Local Plan Pre-Submission Publication September 2019

The following key represents symbols used throughout Appendix A, although not every symbol will apply to every map. Maps are not to scale.

### Key to maps

Site Boundary



Listed Building



Locally Listed Building



Conservation Area





## Appendix A2

### Heritage Impact Assessments for site allocations included within the Wyre Forest District Council Local Plan Pre-Submission Publication September 2019

#### Kidderminster Town

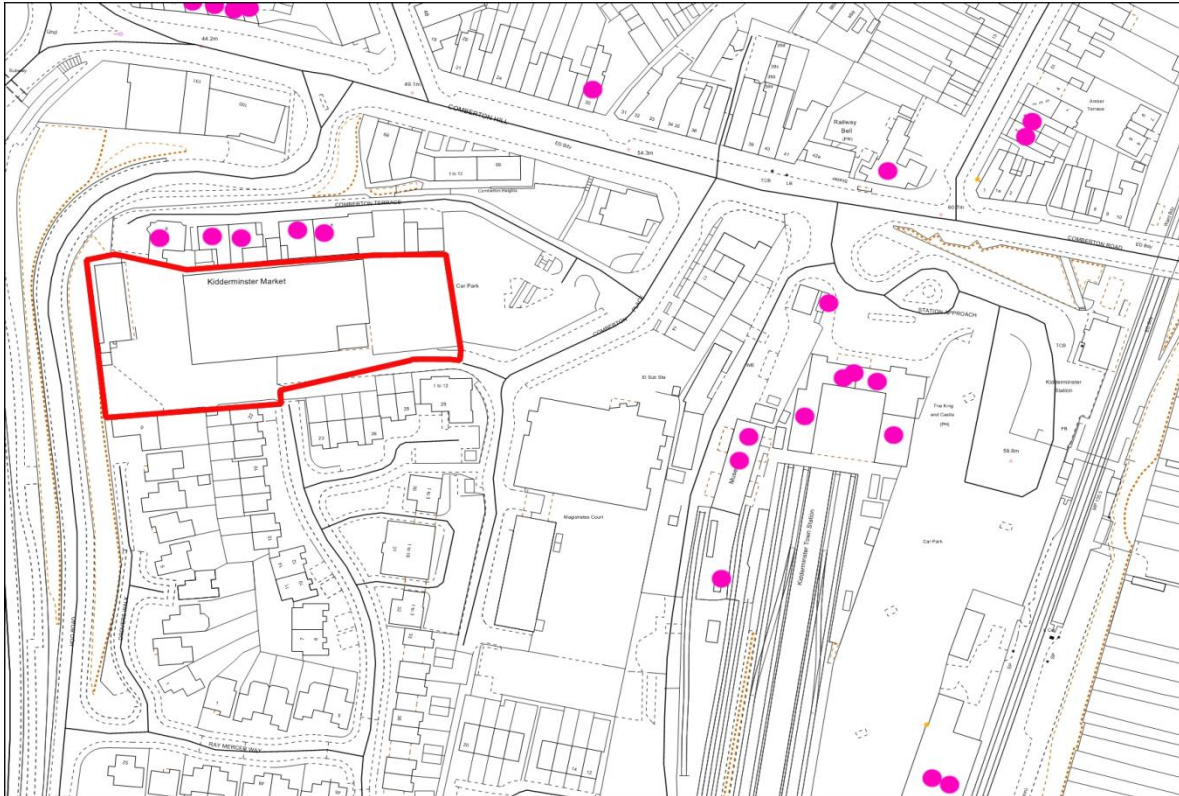
HELAA REF	LOCATION	SOURCE	SIZE (HA)	HOUSING CAPACITY	Bfd/Gfd/GB	Type of land use
AS/1	Comberton Place	PO	0.5	23	Bfd	Housing
AS/3	Chester Road SSS	HELAA	0.41	10	Bfd	Housing or C2
AS/5	Victoria Sports Ground	PO	2.21	45	Gfd	Housing plus C2
AS/6	Lea St School	PO	0.47	24	Bfd	Housing
AS/20	N of Bernie C. Walk	HELAA	0.41	9	Gfd	Housing
BHS/2	Bromsgrove St	PO	3.6	35	Bfd	Mixed uses - housing, leisure, car parking, commercial
BHS/10	Frank Stone building	HELAA	0.32	N/A	Bfd	Employment
BHS/11	Green St Depot	PO	0.46	N/A	Bfd	Employment
BHS/16	Timber Yard Park Lane	PO	2.1	55	Bfd	Housing, C2, commercial
BHS/17	Rock Works	HELAA	0.36		Bfd	Employment
BHS/18	Blakebrook School	PO	1.38	41	Bfd	Housing
BHS/38	Kidderminster Fire Station	HELAA	0.37	20	Bfd	Housing
BHS/39	Boucher Building	BLR	0.04	10	Bfd	Housing
BW/1	Churchfields	PO	7.09	270	Bfd	Housing plus commercial
BW/2	Limekiln Bridge	PO	1.16	80	Bfd	Housing
BW/3	Sladen School	PO	2.61	72	Bfd	Housing
FHN/11	BT building Mill Street	BLR	0.6	40	Bfd	Housing or commercial
FPH/5	Ambulance Station	HELAA	0.21	12	Bfd	Housing
FPH/8	SDF and adjacent land	PO	4.01		Bfd	Employment
FPH/10	British Sugar Phase 2	PO	1.59	58	Bfd	Employment and residential
FPH/15	Severn Grove shops Rifle Range	LPRPO	0.49	12	Bfd	Housing plus commercial
FPH/18	Naylors Field Sutton Park Rise	PO	1.65	35	Gfd	Housing
FPH/19	164/5 Sutton Park Road	LPRPO	0.72	4	Gfd	Housing
FPH/23	British Sugar Phase 1 remainder	PO	1.84	N/A	Bfd	Employment

<b>Kidderminster Town</b>						
<b>HELAA REF</b>	<b>LOCATION</b>	<b>SOURCE</b>	<b>SIZE (HA)</b>	<b>HOUSING CAPACITY</b>	<b>Bfd/Gfd/GB</b>	<b>Type of land use</b>
FPH/24	Romwire Site	PO	5	N/A	Bfd	Employment
FPH/27	Adj. Easter Park, Worcester Road	PO	2.53	N/A	GB	Employment
FPH/28	Hoobrook Site	PO	0.25	N/A	Bfd	Employment
FPH/29	VOSA Worcester Road	PO	1.72	N/A	Bfd	Employment
LI/1	Zortech Avenue (former Ceramaspeed)	PO	3.27	N/A	Bfd	Employment
LI/10	Land at rear of Zortech Avenue	PO	1.48	N/A	Gfd	Employment
LI/12	Former Burlish Golf Course Clubhouse	other		N/A	Bfd	Travelling Showpeople
LI/13	Land off Zortech Avenue	other	1.94	N/A	GB	Employment
MI/26	Ratio Park, Finepoint	PO	0.69	N/A	Bfd	Employment
MI/34	Oakleaf, Finepoint	PO	1	N/A	Bfd	Employment
OC/11	Stourminster School	PO	2.15	56	Bfd	Housing

Site Ref: AS/1

Site Name:  
COMBERTON PLACE

HOUSING



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1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Buildings on Local Heritage List for Kidderminster ref: LLK119-122.

Listed Building Stourvale Mills NHLE 1244829

c) What is the proximity?

Immediately adjacent to the rear of the locally listed buildings.

70 m east of NHLE 1244829

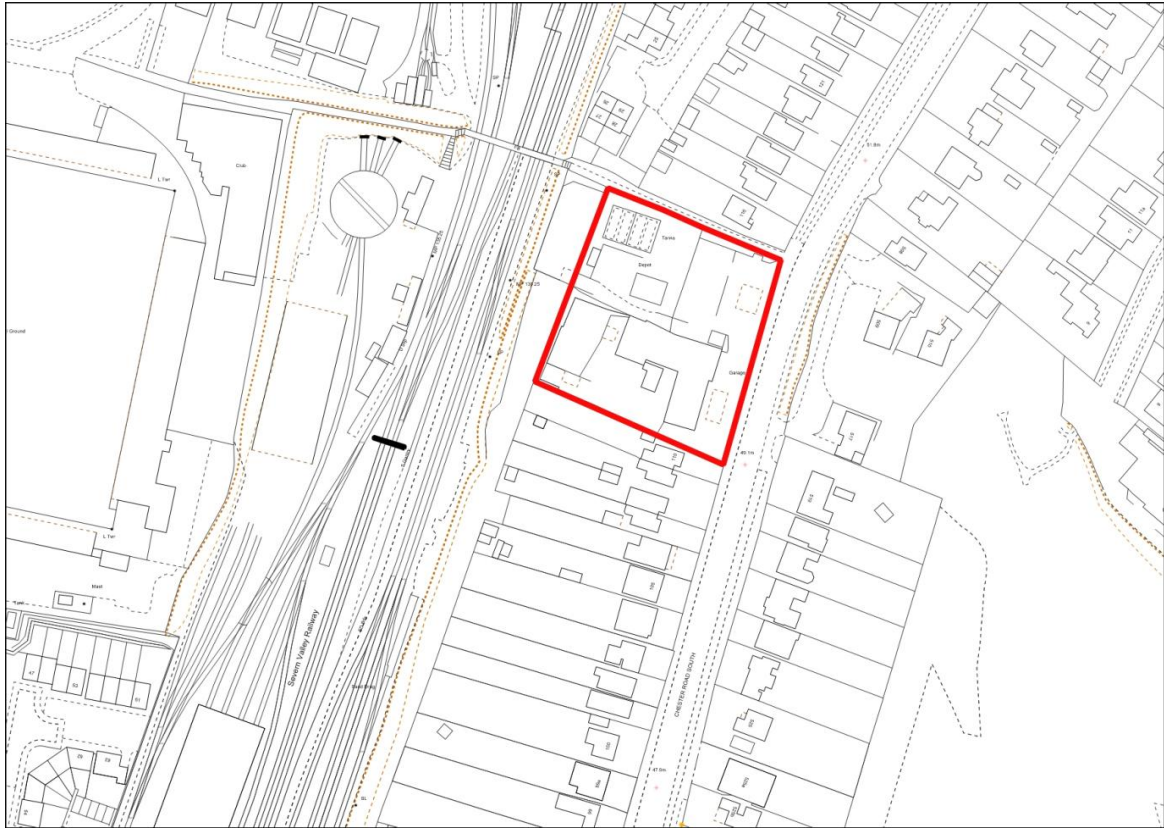
2a) What is the significance of the heritage assets?

LLK119-122: Victorian Housing in elevated position high above town ring road. Medium aesthetic value. Overall significance medium.

NHLE 1224489: Primarily architectural features; age: 1856; association with several large carpet manufacturers. Medium evidential, High historic, aesthetic and

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>communal value. Overall significance medium/high.</p> <p>LLK119-122: Development on this site will remove the 1950's market auction buildings which are sited close to the rear of these properties.</p> <p>NHLE 1224489: Development on this site will be 70m distant from the heritage asset with limited inter-visibility between sites.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Mitigation Possible</p> <p>Layout of development on site should be designed to reduce potential impact on adjacent LLK119-122.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Siting new development further away from the rear of LLK119-122 will enhance their setting.</p> <p>Policy 11B requires the protection, conservation and enhancement of heritage assets in conjunction with Policy 26A.</p>
<p>5) What further work is required?</p>	<p>Not applicable.</p>

Site Ref: AS/3	Site Name: CHESTER RD SOUTH SERVICE STATION	Housing or C2
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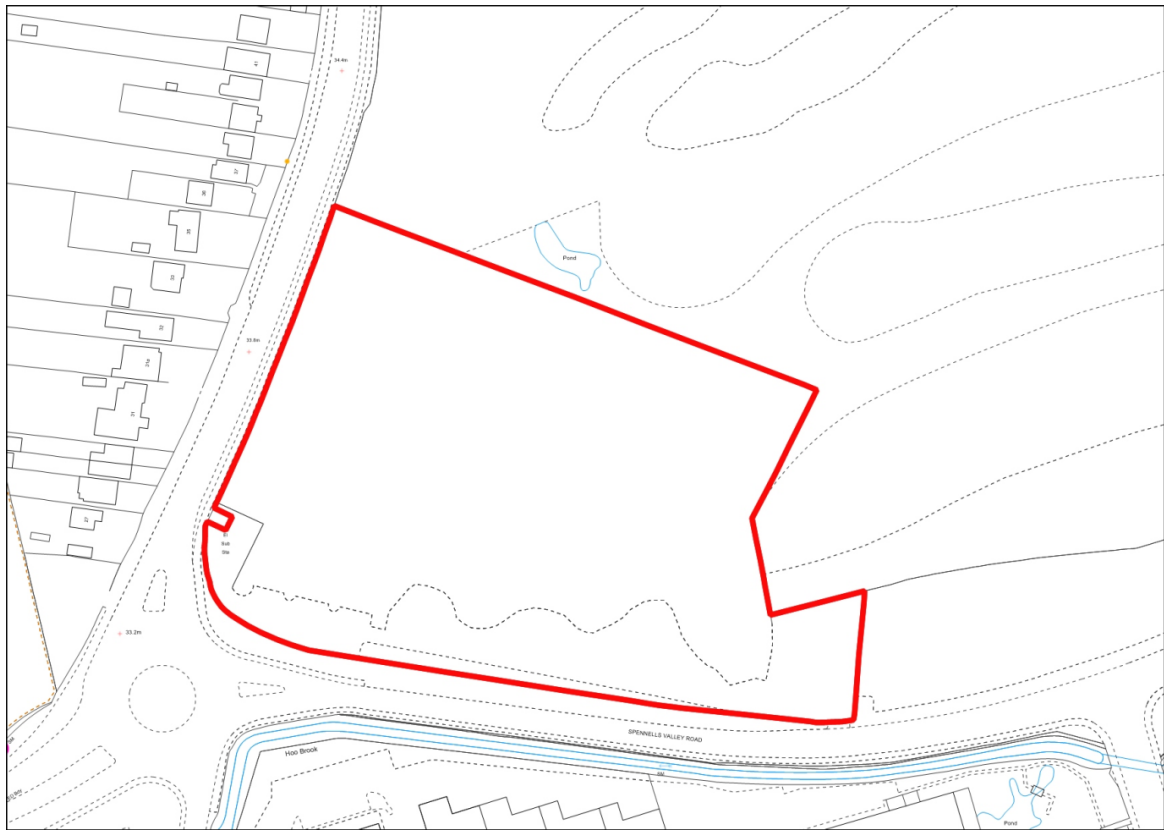
Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>YES.</p> <p>Undesignated heritage asset included on the Worcestershire HER:</p> <p>Oxford Worcester and Wolverhampton Railway WSM31664;</p> <p>Marshalling Yard, Severn Valley Railway, WSM27779</p> <p>Site immediately adjacent to heritage assets.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>The Worcestershire HER describes the railway thus:</p> <p><i>The first stretch to open was in 1850 and it ran from a temporary terminus in Worcester to Abbotswood Junction The line between Worcester and Evesham opened in 1852</i></p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p><i>and from Evesham to Wolvercote Junction (Oxford) in 1853. The line from Worcester to Droitwich Spa and the spur to Stoke Works opened in 1852, Droitwich to Stourbridge also opened a few months later in the same year.</i></p> <p>The significance of WSM31664 <u>at this location</u> is largely its communal value; it also has some evidential value. There were navy encampments close to this site during the construction of the railway and the reconstruction of the viaduct in 1884.</p> <p>Overall significance is low/medium.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the</p>

	<p>understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: AS/5	Site Name: VICTORIA SPORTS GROUND	Housing plus C2
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<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Undesignated heritage assets – Site of Light Anti-Aircraft Battery WSM33323.</p> <p>Position of Battery unknown within site.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>No legible heritage assets on site but potential for archaeological remains of WSM33323.</p> <p>Development which would involve construction of new foundations could result in loss or fragmentation of surviving archaeological remains.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how</p>	<p>Yes. Mitigation Possible</p> <p>No legible above ground heritage assets to</p>

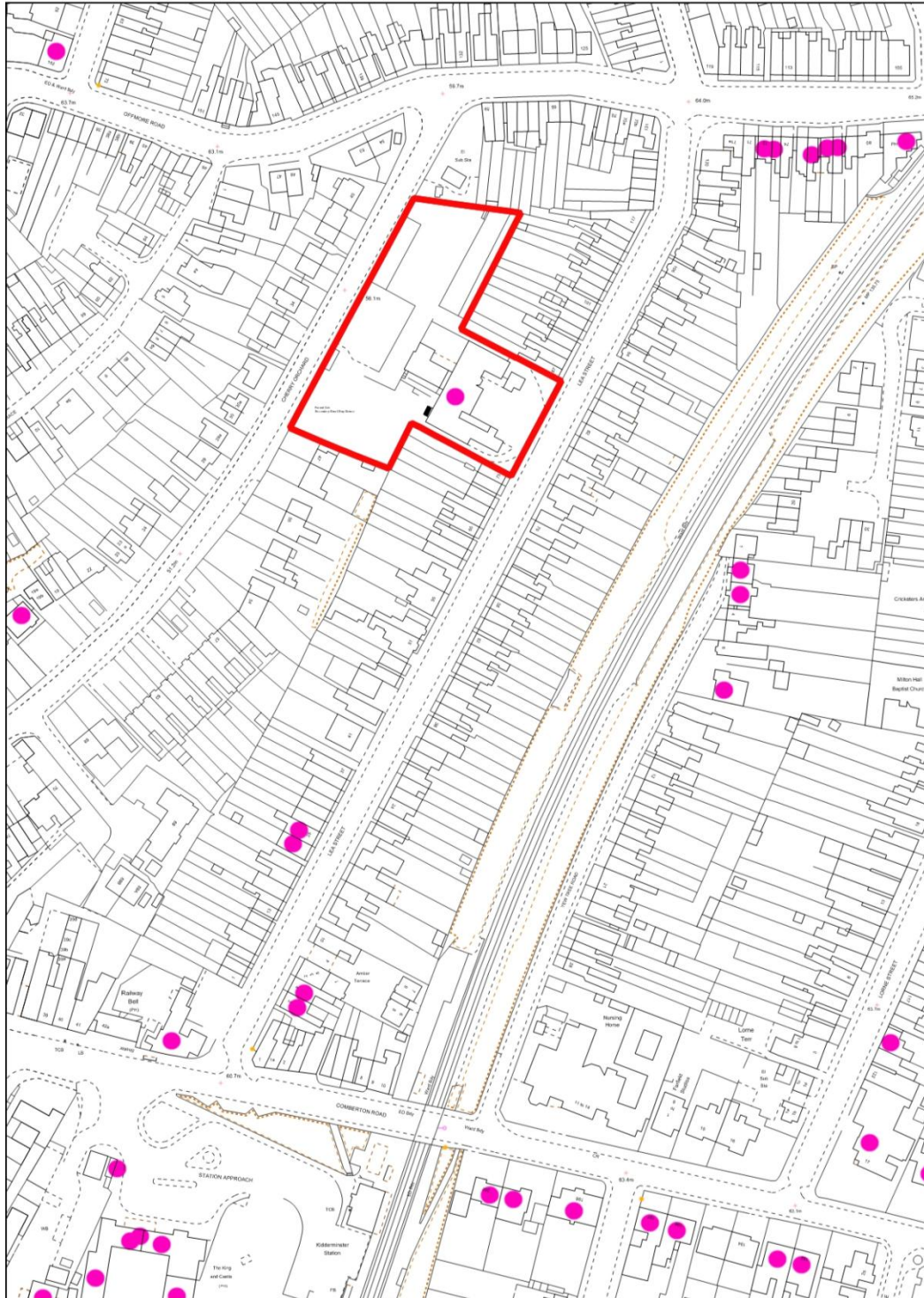


<p>mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>protect. In terms of mitigating impact on below ground archaeology there will be a requirement for a desk-based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: AS/6

Site Name:  
LEA STREET SCHOOL

Housing



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1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

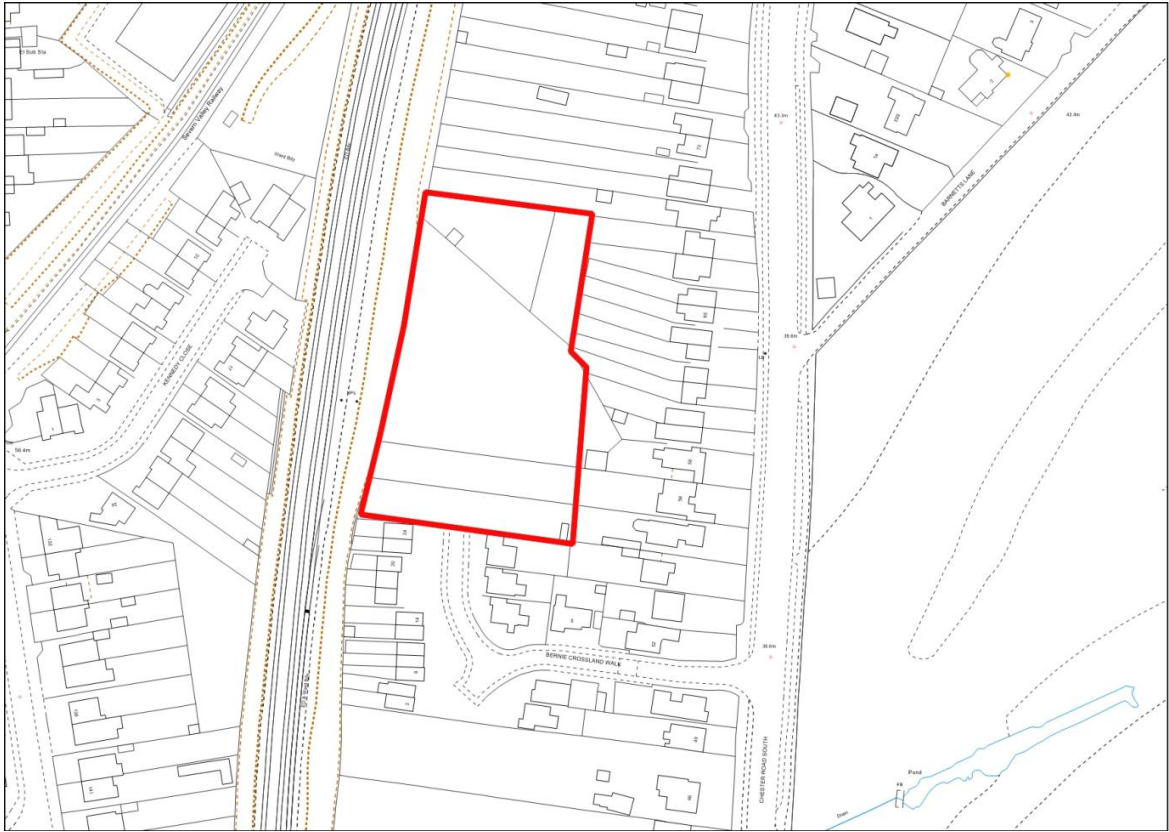
Undesignated heritage asset: Lea Street

c) What is the proximity?	<p>School WSM38525, included on the Local List for Kidderminster ref: LLK201.</p> <p>The school is on the site.</p>
2a) What is the significance of the heritage assets?	<p>The Worcestershire Historic Environment Record cites the Historic Kidderminster Report Ref: 764 as follows:</p> <p><i>“This is a very attractive building which is a rare example of a well-preserved board school. It is the only surviving school built by the Borough of Kidderminster School Board. The others at Hume Street, Coventry Street and Bennett Street have all been demolished. However, a school built by the Kidderminster Foreign school board still stands in Northumberland Avenue. Lea Street school has recently been closed, and with its future use uncertain it is clearly a building at risk. Following the Reform Act of 1867 which extended the vote to all male householders in the towns, there was naturally concern to develop a better educated population. Schooling was undertaken largely by religious bodies and was inadequate in many areas of the country. The Education Act of 1870 provided for the establishment of elected School Boards to build elementary schools in areas where they were needed. The religious teaching in Board Schools was to be nondenominational, based on simple bible teaching. In Kidderminster the first Board School was built in 1872 at Coventry Street. It was followed by schools at Hume Street in 1878, Lea Street in 1883 and Mill Lane (or Bennett Street) in 1884. Lea Street School was built for 131 boys, 131 girls and 131 infants. In 1892 the master, mistress and infants’ mistress were George Davis, Mrs Lucy Rogers and Miss Clara Peck. In 1896 there was a new mistress, Miss Young. The school board schools were a vital part of the social fabric of an industrial town, providing an education to the poorest children whose schooling was a matter of indifference to the many religious societies which ran their own schools. The class sizes in board schools could approach 100, providing an immense challenge to teachers. In modern times the school has functioned as a first school for children under nine. It was closed by Worcestershire County Council in July 2007 as part of a reorganisation. At the end the</i></p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p><i>number of children was reduced to about fifty. The building is no longer occupied, but it is used for storage. A security firm visits every day. Property companies have been enquiring about the school, and both demolition or conversion remain possibilities. The school is built on three levels. The interior is unspoilt. The original ceilings survive behind false ones. There are original heating pipes and radiators. The doors are original and all windows are the original metal framed ones. The screens which act as room dividers are still in place. The dated stonework over the front entrance has also survived. The school bell is intact. Everything has been very well cared for. It is unlikely that there is another school retaining so much of its historical character in the area.</i></p> <p><i>Lea Street and nearby streets such as Cherry Orchard have a distinctive Victorian appearance. The architectural harmony of the locality would be seriously damaged if the school was to be demolished.”</i></p> <p>The buildings have medium to high historic, aesthetic and communal value, and thus the site is sensitive to change.</p> <p>Total demolition of the school buildings will result in complete loss of significance, contrary to Local Plan Policy 11B and Policy 26 part B.</p> <p>Conversion of the existing buildings and construction of additional structures within the site will result in a lesser degree of harm to the significance of the undesignated heritage asset.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation Possible.</p> <p>Building recording level 3 will provide a record of any buildings to be demolished.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p>	<p>Yes.</p>

<p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>This is a steeply sloping site and there will be a need for sensitive layout, design and materials to ensure any new development makes a positive contribution to the location to overcome any adverse impacts on the heritage asset.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Where development may result in the loss of built heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance in the form of a level 3 building recording. This assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: AS/20	Site Name: OFF BERNIE CROSSLAND WALK	Housing
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Undesignated heritage asset ref: WSM31664. Oxford Worcester and Wolverhampton Railway.</p> <p>Site immediately adjacent to heritage asset.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>The Worcestershire HER describes the railway thus:</p> <p><i>The first stretch to open was in 1850 and it ran from a temporary terminus in Worcester to Abbotswood Junction The line between Worcester and Evesham opened in 1852 and from Evesham to Wolvercote Junction (Oxford) in 1853. The line from Worcester to Droitwich Spa and the spur to Stoke Works opened in 1852, Droitwich to Stourbridge also opened a few months later in the same year.</i></p>

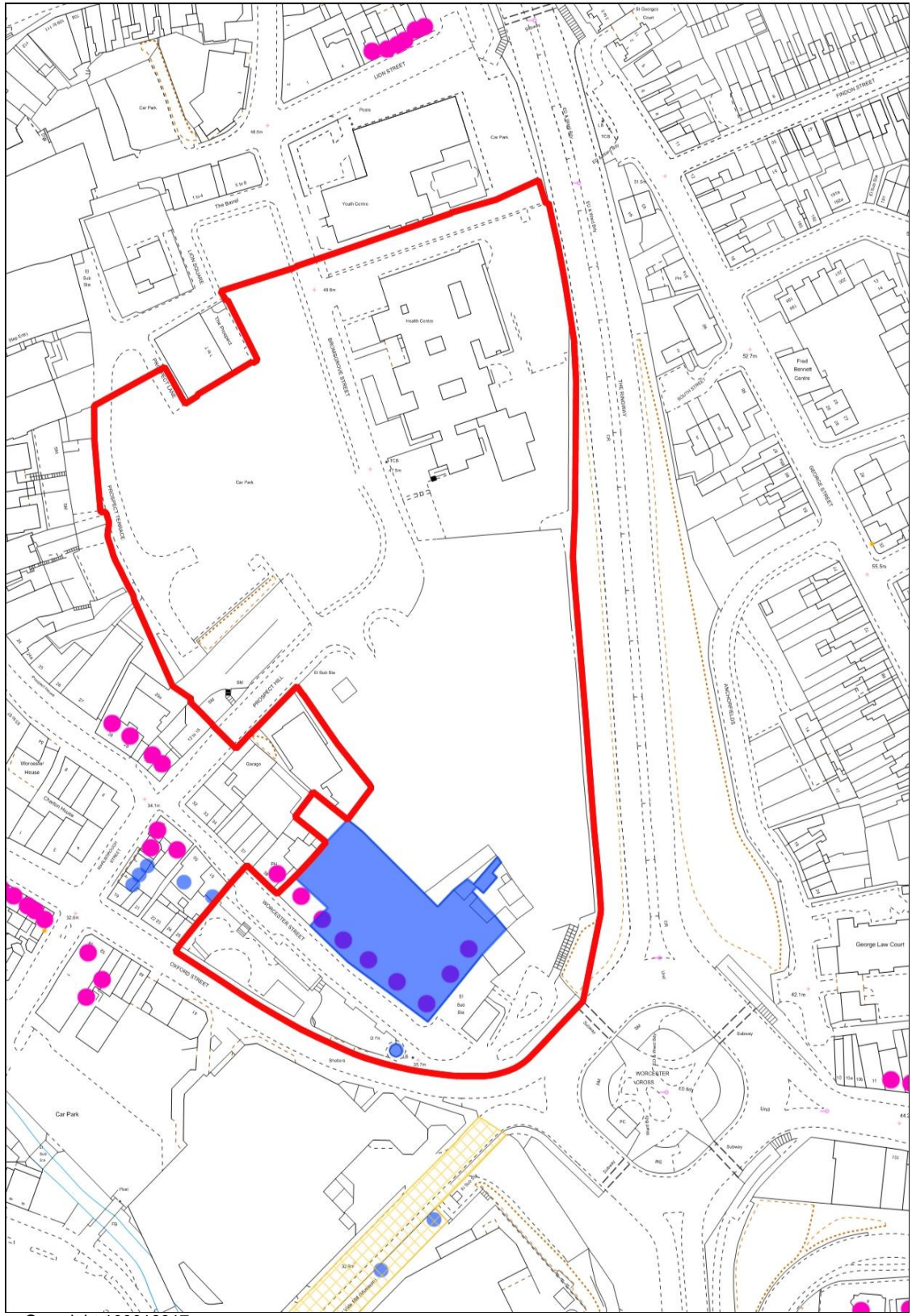


<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>The significance of WSM31664 <u>at this location</u> is largely its communal value; it also has some evidential value. There were navy encampments close to this site during the construction of the railway and the reconstruction of the viaduct in 1884.</p> <p>Overall significance is low/medium.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: BHS/2

Site Name:  
BROMSGROVE STREET

Mixed Uses – housing,  
leisure, car-parking,  
commercial



Crown Copyright 100018317





<p>2a) What is the significance of the heritage assets?</p>	<p>Former Worcester Cross Factory and Offices, and weaving sheds NHLE: 1457827:</p> <p>Former carpet factory and offices built in 1878-1879 for H R Willis and designed, in the Queen Anne Revival style, by the architect J G Bland of Birmingham. Owned by Woodward, Grosvenor and Company from 1883. Significance specifically related to architectural and historic interest and group value.</p> <p>50, WORCESTER STREET NHLE: 1100057:</p> <p>Early C19 former pair of artisans houses; the buildings have group, historic and architectural values contributing to national significance.</p> <p>51, WORCESTER STREET NHLE: 1348612:</p> <p>3 storey early C19 artisans' town house which has group, historic and architectural values contributing to national significance.</p> <p>THE WORCESTER CROSS NHLE: 1348611:</p> <p>Designed by Meredith. Gothic canopied fountain of octagonal form with elevations alternately gabled over clock faces. One elevation bears a crest. Gargoyle ornaments. The lower part has open arches on octagonal granite columns with drinking fountains to the sides and a door. Inscription 'This fountain was presented to the town of Kidderminster by John Brinton October 21, 1876'. This fountain has group value, historic and architectural interest and is linked to an influential figure within the town all contributing to national significance.</p> <p>STOUR VALE MILLS (WOODWARD GROSVENOR AND COMPANY LIMITED) FRONT RANGE NHLE: 1244819:</p> <p>Carpet factory. 1856, extended later C19; by J G Bland for the Stour Vale Mill Company. Red brick with yellow/white Stourbridge brick</p>
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	<p>dressings. Welsh slate and corrugated sheet clad roofs with pedimental gable ends. Built by the Stour Vale Mills Company in 1856 as a venture to enable Kidderrninster carpet manufacturers to rent space and power for powerloom weaving without having to obtain new premises and looms. The weaving sheds behind were divided into nine separate compartments and there were separate entrances at the front. Many of the large carpet makers such as James Morton and Sons and William Green began here before building factories of their own. The building is now the Museum of Carpet and has group value, historic and architectural interest contributing to its national significance within the Green St Conservation Area.</p> <p>The significance of the Green Street Conservation Area can be summarised as follows:</p> <ul style="list-style-type: none"> <li>• The remains of the historic Caldwell Estate containing Kidderminster's oldest secular structure</li> <li>• The New Road turnpike of 1830 which took traffic directly from the town centre to the Worcester Road which acted as a catalyst for initial development in the area</li> <li>• Several carpet manufactories dating from the mid-19th century, specifically designed to accommodate power looms, representing the increasing mechanisation of the industry</li> <li>• Several listed and locally listed buildings, including carpet manufacturing complexes, a number of late 19th century and early 20th century municipal buildings and also the late 15<sup>th</sup> century Grade II* Caldwell Hall</li> <li>• The extensive use of brick with two to four storey heights being common, and taller landmark towers</li> </ul> <p>The Conservation Area has high historic, aesthetic and communal value and medium evidential value. Overall significance is medium/high.</p> <p>39 Boars Head Public House Worcester Street Ref: K411:</p> <p>This is a fine red brick Public house. Late C19. It has many surviving architectural features and has group value with the</p>
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b) Will the proposed development have any impact on the significance? Please explain.

adjacent Worcester Cross Factory Offices contributing to a high degree of local significance.

This is a large site occupying an area historically developed in the late 18<sup>th</sup> century as workers housing and redeveloped in the mid-late C20 when the adjacent ring road was constructed. The northern part of the site occupies a plateau at the top of Prospect Hill including the site of former Cross Street, Fair Street, South Street, Prospect Lane and Bromsgrove Street the course of part of which still exists.

The southern part of the site sits ten metres below the plateau and borders Worcester Street and The Ringway.

Although previously developed and redeveloped the significance of the northern part of the site is not now evident.

The southern part of the site is largely occupied by the recently designated Former Worcester Cross Factory which is a landmark feature at the eastern gateway to the town approaching from the east.

Development on the northern part of the site has potential to impact significantly on views to and from this part of the town and may affect the significance of unknown heritage assets including buried assets.

Development adjacent to the southern part of the site may impact on the setting of the designated heritage assets although the change in levels will mitigate this somewhat.

The site has a history of pre-industrial development and there is high potential for archaeological remains below ground.

Development which would involve construction of new foundations could result in loss or fragmentation of surviving archaeological remains.

Parts of the site appear to have been redeveloped at least twice in its history. The significance of these assets is at present unknown.

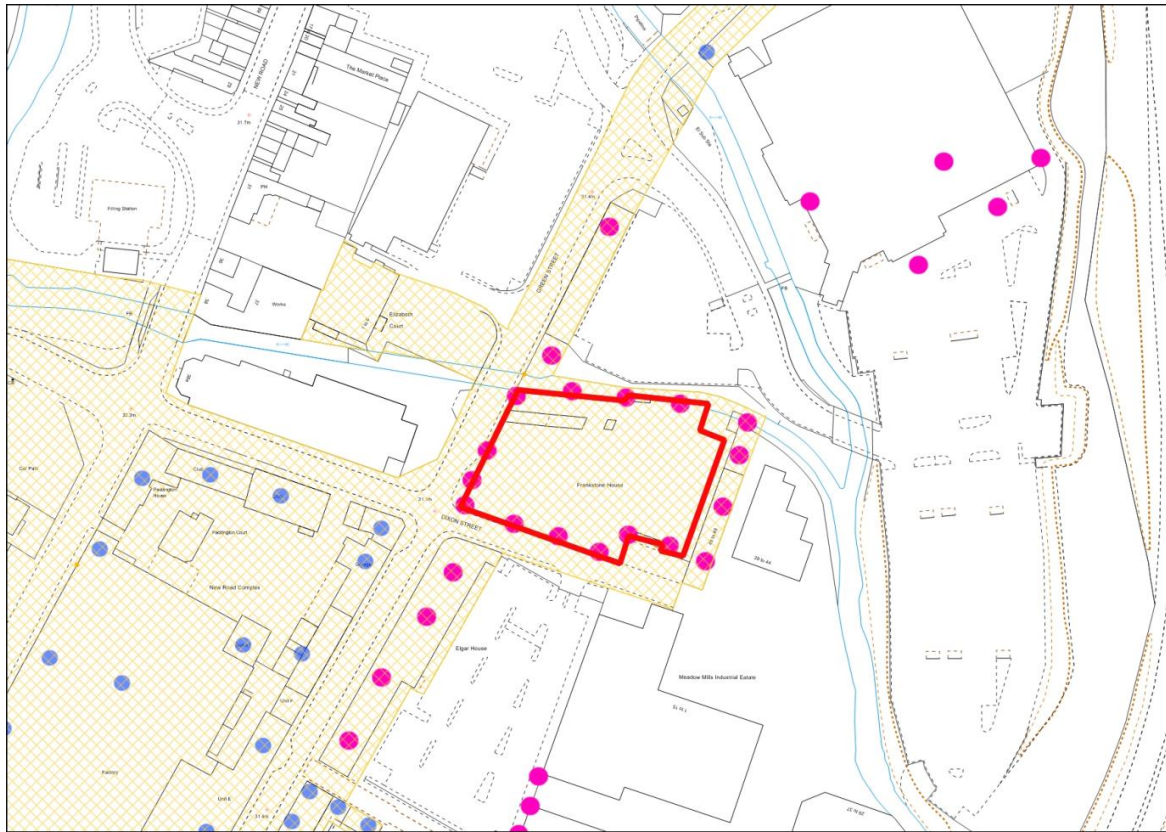


<p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>northern part of the site, with consideration in particular given to the height and massing of new development as this will impact on the skyline and wider views across the town. Yes. Site allocation policy can reflect the opportunities outlined above.</p> <p>Policies 11B and 26 refer to the enhancement of heritage assets and the need to assess significance of assets affected by proposed development.</p>
<p>5) What further work is required?</p>	<p>High potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: BHS/10

Site Name:  
FRANK STONE BUILDING

Employment



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Designated heritage asset: Green Street Conservation Area.

Undesignated heritage assets included on the Worcestershire HER:

Frank Stone Works Green Street/Dixon Street carpet manufactory premises. Local Heritage List for Kidderminster ref: LLK435;

Watson's Bridge WSM20724;

c) What is the proximity?

Site lies within Conservation Area;

LLK435 is within the site boundary;

WSM20724 lies immediately to the north of the site.



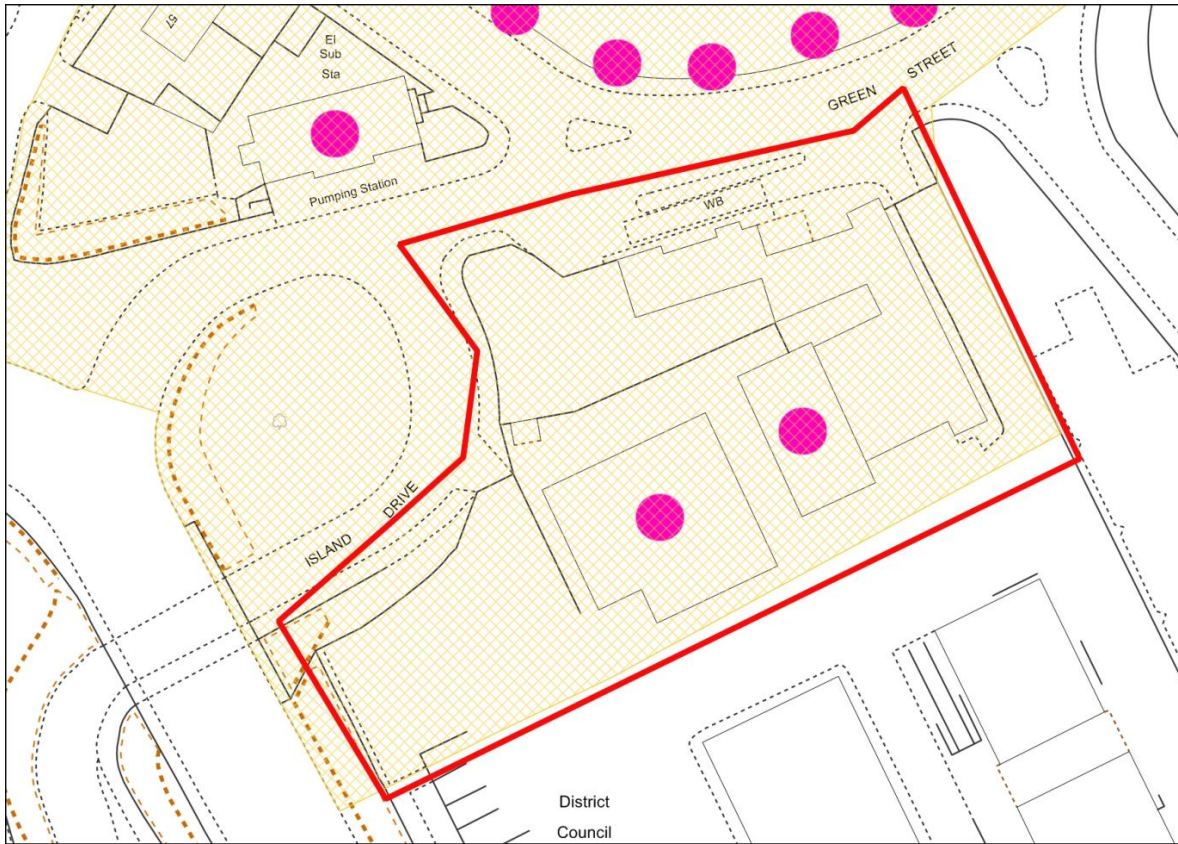


	<p>The site was an orchard with historic map evidence of a Holloway to the southeast. The site is of unknown archaeological potential although its location adjacent to the river points towards a high potential for preserved historic riverside features and environmental deposits. The site will require building recording and below ground investigations.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>Building recording level 3 will provide a record of any parts of LLK435 to be demolished.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Sensitively designed replacement building to the rear of the retained street frontage has potential to enhance the appearance of the Conservation Area.</p> <p>Yes, site allocations policy can reflect the above comments.</p>
<p>5) What further work is required?</p>	<p>Where development may result in the loss of built heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance in the form of a level 3 building recording. This assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings within the Green Street Conservation Area.</p>

Site Ref: BHS/11

Site Name:  
GREEN STREET DEPOT

Employment



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

YES.

If yes,

b) What type of heritage asset?

Designated heritage asset: Green Street Conservation Area

Undesignated heritage assets:

Industrial building associated with sewage pumping station: WSM50172 and Building associated with sewage pumping station WSM50171; these buildings included on the Local Heritage List for Kidderminster ref: LLK438; also Site of sewage works Kidderminster WSM37043.

c) What is the proximity?

Site sits within Green Street Conservation Area and the site contains the undesignated heritage assets as described above.



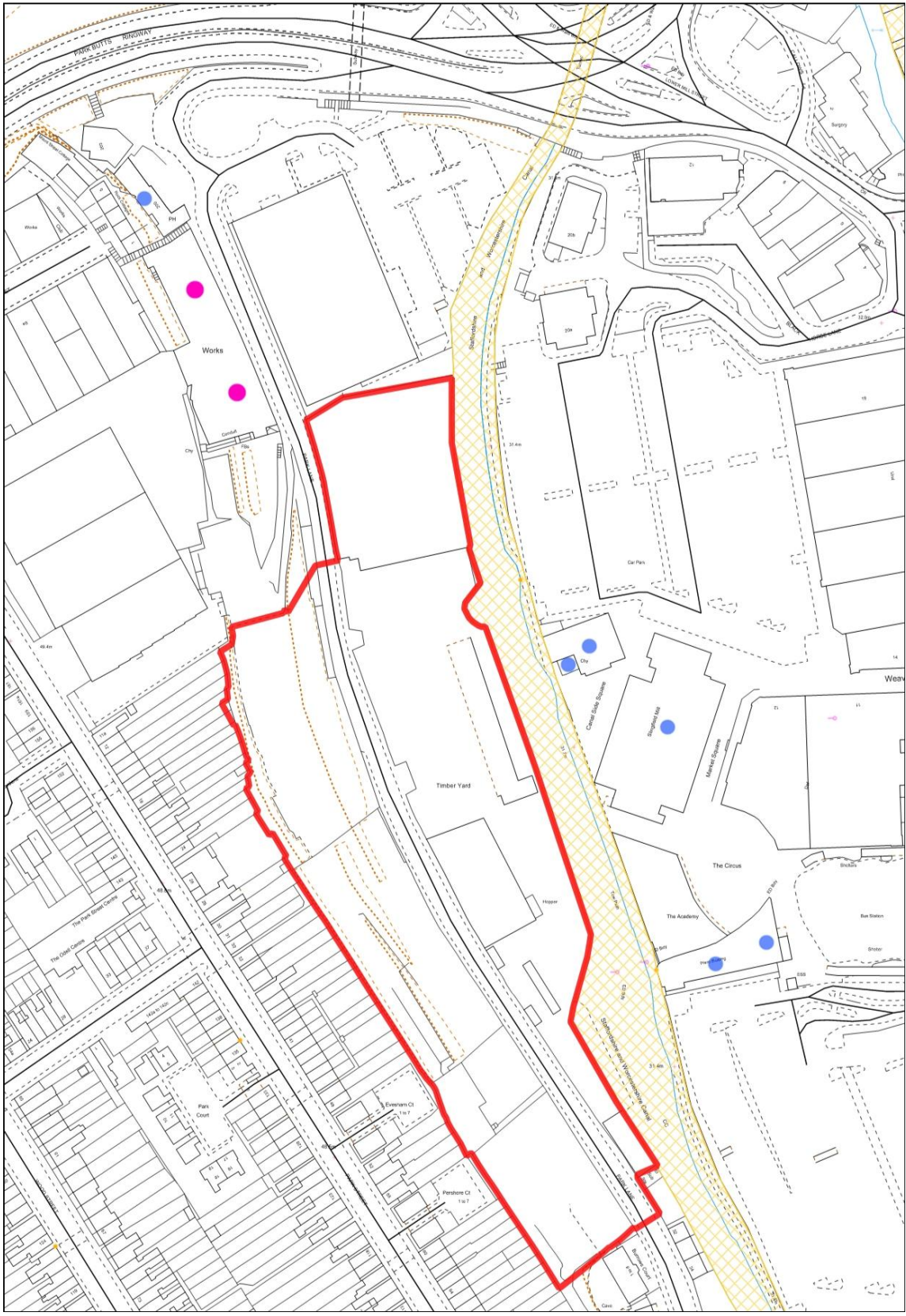
<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Design of other buildings on the site should relate well in terms of layout and scale to the existing undesignated heritage assets. Development on the site has potential to enhance the Green Street Conservation Area.</p> <p>Policy 11B requires the protection, conservation and enhancement of heritage assets in conjunction with Policy 26A.</p>
<p>5) What further work is required?</p>	<p>Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. This assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on-site assets that may be affected and to assess the impact of development on them and their settings within the Green Street Conservation Area.</p>



Site Ref: BHS/16

Site Name:  
TIMBER YARD PARK LANE

Housing, C2, Commercial



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are red brick, particularly associated with the earlier canal buildings and structures; and all buildings have pitched roofs, generally with grey slates. The corners to buildings are often curved, in order to facilitate turning by wagons. Walls are always capped with semi-circular coping to help reduce wear on ropes and to shed rainwater. Iron metal work (painted black) is a feature of the locks and some narrow bridges. The wider bridges are constructed of red brick and utilize a semi-elliptical arch structure.

There are many trees and shrubs along the canal side that add to the character of the Conservation Area.

The Canal is an important leisure resource, adding to its profile. In this respect, the water way is a popular route for leisure boats, with a major complex of basins located at its southern end in Stourport-on-Severn. The towpath is a popular route for walking and cycling.

The Canal Conservation Area consists of four fairly distinct sections:

Attractive, well wooded, northern section where it has been cut into sandstone cliffs to maintain its course along the contour, and passes through two locks and a tunnel. Bridge No. 25 is a Listed Building; Urban section past the carpet mills through the old industrial heart of Kidderminster; Section parallel to the lower reaches of the River Stour in more open landscape; and Section within the Stourport-on-Severn Town Centre where the Canal joins the River Severn via a series of basins. This part of the Canal is covered by separate Conservation Area designations.”

The canal Conservation Area has high evidential, historical, aesthetic and communal value and overall it is of high significance.

NHLE 1100059; NHLE 1348613; NHLE 1391097 which all lie on the eastern side of

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>the canal tow-path are the principal surviving group of buildings from the once extensive Brintons Carpet Works. They have high historic, aesthetic and communal value and each is individually of a high significance. The chimney is a major landmark feature.</p> <p>NHLE 1348630 is an early C19 public house: its principal significance lies in its medium historic and aesthetic value.</p> <p>LLK274, the Rock Works, is a late C19 carpet factory. Its principal contributing factors to its low/medium significance is its aesthetic value of its roof comprising a series of north lights. It has been included on the local heritage list as an example of industrial buildings of the area.</p> <p>The site contains an undesignated heritage asset which appears to have once formed part of the Rock Works – as evidenced by the scars of a bridge connection over Park Lane. The significance of this building is at present unknown but it contributes to the setting of the designated heritage assets and to the urban nature of Park Lane at this location.</p> <p>NHLE 1300050 St Marys Church is the most prominent and significant listed building in Kidderminster (Grade I). Its elevated location contributes to this significance and there is inter-visibility with a large part of the site.</p> <p>The high evidential, historic, aesthetic and communal values of the designated heritage assets to the east of the site mean that the historic environment adjacent to the site is very sensitive to change.</p> <p>The site's visibility from Weavers Wharf on the opposite side of the canal and adjacent to built designated heritage assets as well as from the ring road passing St Mary's Church and from Park Lane itself means that development here has potential to impact significantly on views to and from this part of</p>
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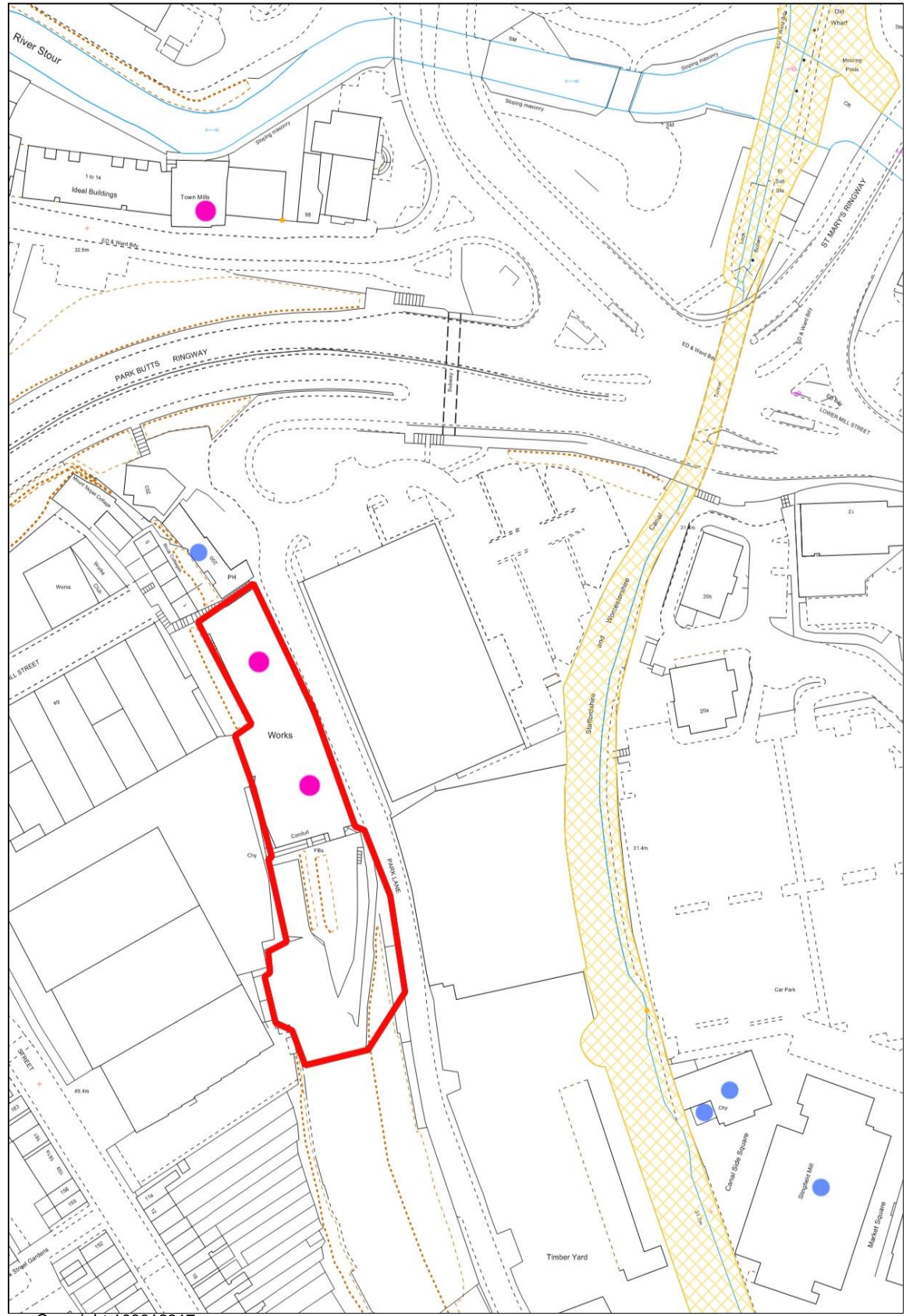
	<p>the town and on the setting of designated heritage assets.</p> <p>The site has a history of industrial use and there is potential for archaeological remains below ground. Development which would involve construction of new foundations could result in loss or fragmentation of surviving archaeological remains.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>This site is visible off several main routes into the town centre as well as from large parts of Weavers Wharf and the elevated land near St Mary's Church. This makes it essential that any development on the site reflects and compliments the existing character and quality of the historic buildings adjacent to the Staffordshire and Worcestershire Canal. A domestic scale standard house type would appear totally incongruous in this setting. There will be a need for careful consideration of the layout, design, scale and materials used within any development to ensure that the development contributes positively to this sensitive location.</p> <p>That part of the site which is elevated and on steeply sloping ground to the west of Park Lane will require particularly careful consideration as to the impact of buildings rising above foreground development adjacent to the canal.</p> <p>The retention of the existing non-designated heritage asset on the site is to be encouraged as loss of this feature will rob Park Lane of its industrial character which will thus harm the setting of the adjacent designated and undesignated heritage assets.</p> <p>In terms of mitigating impact on below ground archaeology there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be</p>

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>required by an appropriate professional. Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Any development on this site should in form, scale, massing and materials relate well to the canal and those designated heritage assets on the east side of the canal, as well as seeking to conserve and enhance the appearance of the canal Conservation Area.</p> <p>Policies 11B and 26 refer to the enhancement of heritage assets and the need to assess significance of assets affected by proposed development.</p> <p>Site allocations policy to reflect the above.</p>
<p>5) What further work is required?</p>	<p>High potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: BHS/17

Site Name:  
**ROCK WORKS**

Employment



Crown Copyright 100018317



	<p>NHLE 1348613 Slingfield Mills Main Block lies 120m to the south east.</p> <p>NHLE 1300050 Parish Church of St Mary and All Saints lies 300m to the north east.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>LLK274, WSM37256, the Rock Works, is a late C19 carpet factory. Its principal contributing factors to its low/medium significance is its aesthetic value of its roof comprising a series of north lights. It has been included on the local heritage list as an example of industrial buildings of the area. It once connected to the building opposite via a bridge.</p> <p>The Carpet Hall, Mount Skipet, Park Lane, Kidderminster WSM40668 probably stood within the site of the present buildings and was erected c.1749. As the origin of Brussels Loom weaving in Kidderminster it has high historic significance, and potential to yield evidential value.</p> <p>NHLE 1348630 is an early C19 public house: its principal significance lies in its medium historic and aesthetic value; it may also have some historic communal value being the closest pub to the works.</p> <p>The buildings described above and their setting, which includes Rock Cottages, the former mill and timber yard on the east side of Park Lane together with Mount Skipet, an historic route that connects the river valley to the upper sandstone terrace, all combine to provide one of the key historic backdrops and industrial character areas in central Kidderminster.</p> <p>The significance of the Staffordshire and Worcestershire Canal Conservation Area is summarised as follows:</p> <p><i>“The Canal was planned by the famous engineer James Brindley and completed in 1772. It links the Rivers Trent and Severn via the industrial Midlands, and forms an important historic feature running north-south for over fourteen kilometers through the District.</i></p>

*Associated with the Canal are several bridges, locks, basins, cottages, warehouses and walls, together with the towpath; which form part of its special interest. The principal building materials are red brick, particularly associated with the earlier canal buildings and structures; and all buildings have pitched roofs, generally with grey slates. The corners to buildings are often curved, in order to facilitate turning by wagons. Walls are always capped with semi-circular coping to help reduce wear on ropes and to shed rainwater. Iron metal work (painted black) is a feature of the locks and some narrow bridges. The wider bridges are constructed of red brick and utilize a semi-elliptical arch structure.*

*There are many trees and shrubs along the canal side that add to the character of the Conservation Area.*

*The Canal is an important leisure resource, adding to its profile. In this respect, the water way is a popular route for leisure boats, with a major complex of basins located at its southern end in Stourport-on-Severn. The towpath is a popular route for walking and cycling.*

*The Canal Conservation Area consists of four fairly distinct sections:*

*Attractive, well wooded, northern section where it has been cut into sandstone cliffs to maintain its course along the contour, and passes through two locks and a tunnel. Bridge No. 25 is a Listed Building; Urban section past the carpet mills through the old industrial heart of Kidderminster; Section parallel to the lower reaches of the River Stour in more open landscape; and Section within the Stourport-on-Severn Town Centre where the Canal joins the River Severn via a series of basins. This part of the Canal is covered by separate Conservation Area designations.”*

The canal Conservation Area has high

b) Will the proposed development have any impact on the significance? Please explain.

evidential, historical, aesthetic and communal value and overall it is of high significance.

NHLE 1100059 and NHLE 1348613 lie on the eastern side of the canal tow-path formed Slingfield Mill and are part of the surviving group of buildings from the once extensive Brintons Carpet Works. They have high historic, aesthetic and communal value and each is individually of a high significance. The chimney is a major landmark feature.

NHLE 1300050 St Marys Church is the most prominent and significant listed building in Kidderminster (Grade I). Its elevated location contributes to this significance and there is uninterrupted inter-visibility with a large part of the Rock Works site.

The high evidential, historic, aesthetic and communal values of the designated heritage assets to the north and east of the site mean that the historic environment adjacent to the site is very sensitive to change.

The site is clearly visible from the designated heritage assets on the opposite side of the canal as well as from the ring road passing St Mary's Church and from the adjacent designated heritage asset on Park Lane itself. Its elevation means that development here has potential to impact significantly on views to and from this part of the town and on the setting of heritage assets.

The topography of the site may be a factor in determining the extent to which the existing buildings can be retained, particularly those which are built into the sandstone hillside.

The site has a history of industrial use and there is potential for archaeological remains below ground. Development which would involve construction of new foundations could result in loss or fragmentation of



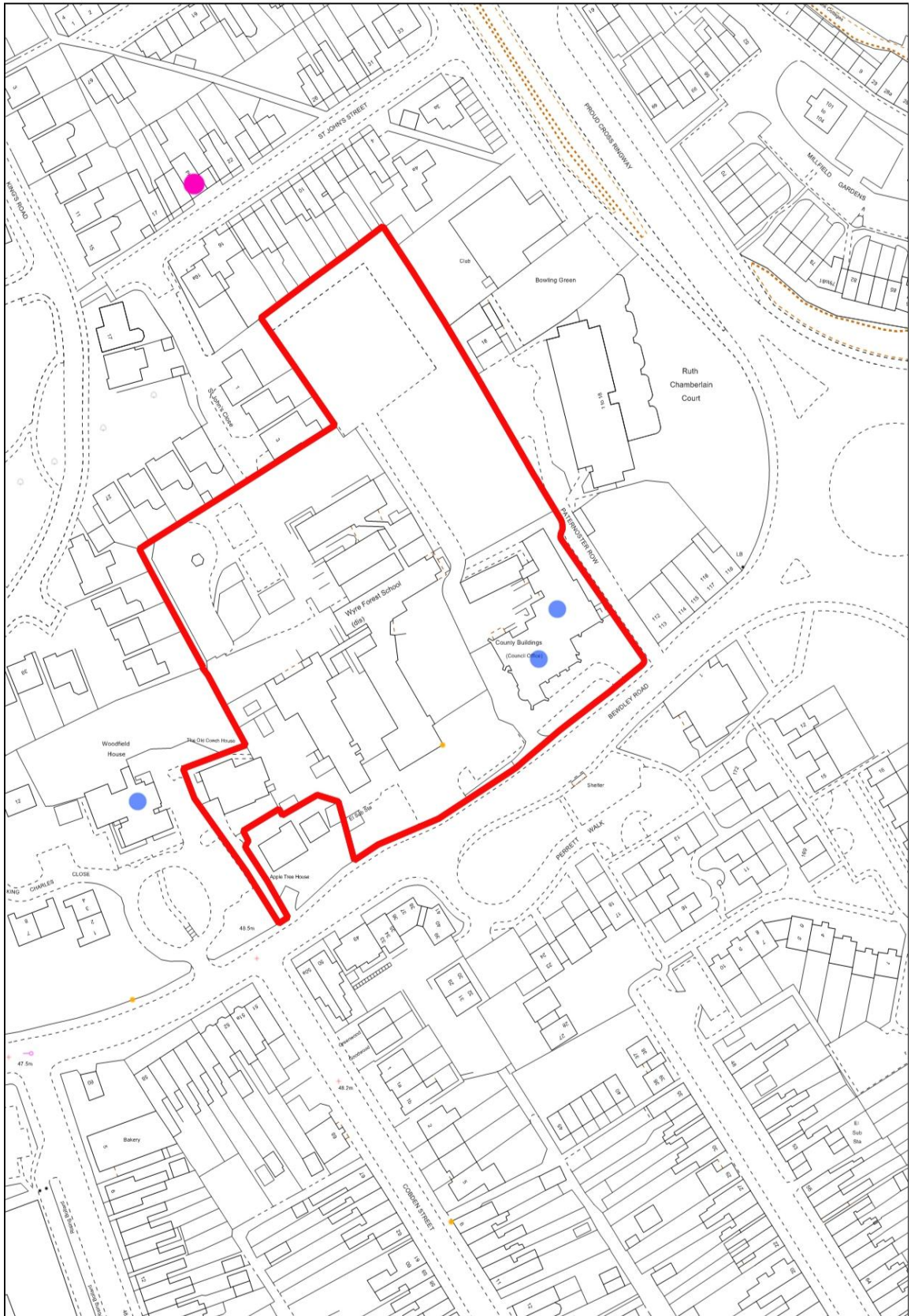
	<p>surviving archaeological remains.</p> <p>In summary this is therefore a site highly sensitive to change whereby the existing buildings should be considered for conversion not demolition. A programme of archaeological works will be required and that should include, building recording, townscape assessment, and below ground archaeological investigations.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>This site is visible from principal routes into the town centre as well as from parts of Weavers Wharf and the elevated land near St Mary's Church. This makes it essential that any development on the site reflects and compliments the existing character and quality of the historic buildings adjacent to the Staffordshire and Worcestershire Canal. In particular the topography of the site requires a bespoke approach to the design of any replacement buildings. There will be a need for careful consideration of the layout, design, scale and materials used within any development to ensure that the development contributes positively to this sensitive location.</p> <p>The retention of at least part of the existing non-designated heritage asset on the site is to be encouraged as loss of this feature will rob Park Lane of its industrial character which will thus harm the setting of the adjacent designated and undesignated heritage assets.</p> <p>Building recording level 3 will provide a record of any buildings to be demolished.</p> <p>In terms of mitigating impact on below ground archaeology there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be required by an appropriate professional.</p>

c) If mitigation is not possible, are there benefits that justify the development?	Not applicable.
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>If structural, geophysical or topographical considerations require part of the undesignated heritage asset to be demolished , there is potential for part of the building to be incorporated into a new development, and this could if sensitively designed provide a high degree of enhancement to the remaining part of the asset as well as making a contribution to enhancing the setting of other designated heritage assets with which there is inter-visibility from this site.</p> <p>Yes - Site Allocations Policy for the site.</p> <p>Policies 11B and 26 refer to the enhancement of heritage assets and the need to assess significance of assets affected by proposed development.</p>
5) What further work is required?	<p>High potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance.</p> <p>Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: BHS/18

Site Name:  
BLAKEBROOK SCHOOL

Housing



Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Designated heritage assets:</p> <p>NHLE 1100070: The school hall at Woodfield Middle School Bewdley Road.</p> <p>NHLE 1100069: Woodfield House</p> <p>NHLE 1100070 occupies part of the site.</p> <p>NHLE 1100069 lies 10m to the west of the site.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>NHLE 1100070 is the former chapel of King Charles I Grammar School and together with the pre-1948 curtilage listed detached library building has considerable historic, aesthetic and communal value. Overall the significance of these two buildings is medium/high. It is considered that the aesthetic and communal value of the remaining pre-1948 and modern buildings on the site is low.</p> <p>NHLE 1100069 is a large 18<sup>th</sup> century house which once served as King Charles I Grammar School. The building is of high aesthetic and historic value.</p> <p>Redevelopment of the site which removes the Buildings of low significance leaving the library and chapel (school hall) buildings will alter the relationship of these two surviving parts of the former Grammar School.</p> <p>Construction of modern housing will affect inter-visibility between the heritage assets from within the site. Thus their setting will be subject to less than substantial harm.</p> <p>The construction of housing may impact on the setting of Woodfield House.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes.</p> <p>Building recording level 3 will provide a record of any buildings to be demolished.</p>

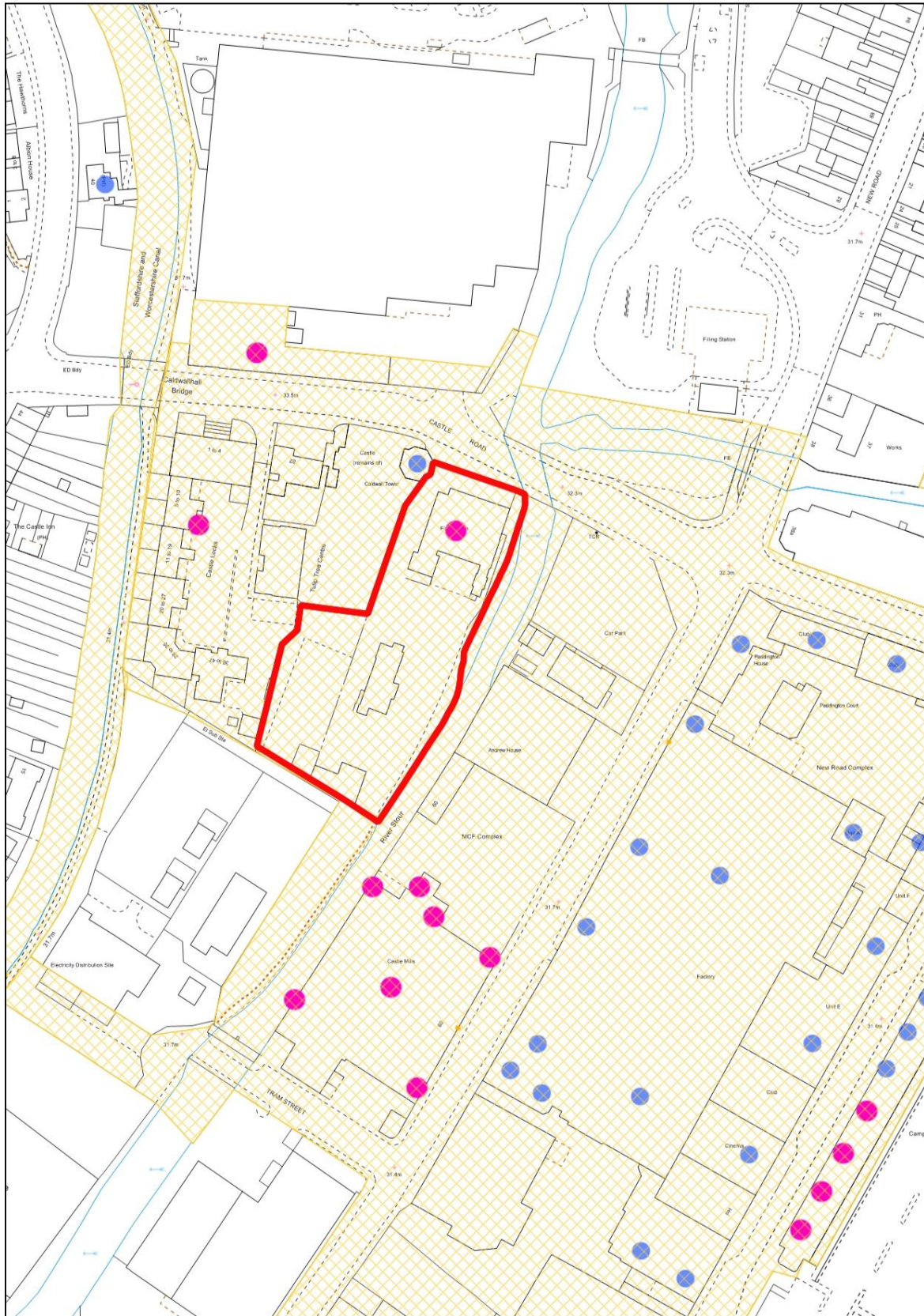
c) If mitigation is not possible, are there benefits that justify the development?	Not applicable.
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>By setting the building line back to behind that of the two heritage assets within the site new housing will be visually subservient to these assets. Co-visibility of these two assets will be maintained.</p> <p>Not applicable.</p>
5) What further work is required?	Where development may result in the loss of built heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance in the form of a level 3 building recording. This assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.



Site Ref: BHS/38

Site Name:  
KIDDERMINSTER FIRE  
STATION

Housing



Crown Copyright 100018317





	<p>structure</p> <ul style="list-style-type: none"> <li>• The New Road turnpike of 1830 which took traffic directly from the town centre to the Worcester Road which acted as a catalyst for initial development in the area</li> <li>• Several carpet manufactories dating from the mid-19th century, specifically designed to accommodate power looms, representing the increasing mechanisation of the industry</li> <li>• Several listed and locally listed buildings, including carpet manufacturing complexes, a number of late 19th century and early 20th century municipal buildings and also the late 15<sup>th</sup> century Grade II* Caldwell Hall</li> <li>• The extensive use of brick with two to four storey heights being common, and taller landmark towers</li> </ul> <p>The Conservation Area has high historic, aesthetic and communal value and medium evidential value. Overall significance is medium/high.</p> <p>This part of the Green Street Conservation Area has high evidential, aesthetic and historical value, its significance is high.</p> <p>There is a high probability that the immediate area around the site may contain buried archaeological remains dating from the early medieval period onwards. Historic and later buildings may conceal evidence of the layout of the formal gardens &amp; buried archaeology. The significance of the Staffordshire and Worcestershire Canal Conservation Area is summarised as follows:</p> <p><i>“The Canal was planned by the famous engineer James Brindley and completed in 1772. It links the Rivers Trent and Severn via the industrial Midlands, and forms an important historic feature running north-south for over fourteen kilometres through the District.</i></p> <p><i>Associated with the Canal are several bridges, locks, basins, cottages, warehouses and walls, together with the towpath; which form part of its special interest. The principal building materials are red brick, particularly associated with the earlier canal buildings and structures; and all buildings have pitched roofs, generally with grey slates. The corners to</i></p>
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*There are many trees and shrubs along the canal side that add to the character of the Conservation Area.*

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The canal Conservation Area has high evidential, historical, aesthetic and communal value and overall it is of high significance.

The S&W Canal Conservation Area is of high historic significance as its construction facilitated the expansion of the town into a major industrialised manufacturing centre by the mid-19<sup>th</sup> century.

	<p>NHLE: 1179037 Caldwell Hall Grade II* The single octagonal tower is the surviving fragment of a fortified medieval manor house and is Kidderminster's oldest building apart from St Mary's Church. It sat in a deer park and later formal gardens (of which the development site forms a part). It is of high significance.</p> <p>NHLE: 1244820 is a complete carpet manufacturing works dating from 1869 by the nationally important architect JG Bland. The 5 storey water tower at the NW corner is a prominent landmark within the Conservation Area. It is of medium to high significance due to the survival of most of the historic buildings on the site.</p> <p>LLK432 Fire station built 1929; designed by Joseph Hawcroft, Borough Engineer and Surveyor. Extension and training tower date from the mid-1950's. This building is in very close proximity to Caldwell Hall and together with LLK433 and LLK431 forms a strong visual urban group as seen from Castle Road surrounding Caldwell Hall. It is of medium significance due to its historic associations with the Borough of Kidderminster.</p> <p>LLK433 was built also in 1929 and the original design produced was by Pritchard and Godwin of Kidderminster in 1924. Plans etc. survive in Brinton's archive. It is a narrow rectangular structure between the canal and river. It is in two principal floors with attic storey and a mansard roof. Of dark red brick and stone. It is designed in the Art Deco style. It sits directly opposite the Fire Station with which it forms a strong compositional group. It is of medium significance due to its aesthetic and historic associations with the carpet weaving industry.</p> <p>LLK431 1929. Front facade is Art Deco, forming a false facade. Rear of this has Dutch gable with limestone copings, chimney for boiler for swimming pool. Has now been converted to flats. Strong compositional relationship with LLK433 and LLK432.</p> <p>LLK436 is a large Mill building with landmark tower, built 1877, architect J. T. Meredith, for Edward Broome. It was rebuilt after fire</p>
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<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>damage in 1928, by the successor practice, Pritchard &amp; Godwin and is thus contemporary with the fire station, swimming baths and Brintons factory. It is built on the opposite bank of the diverted river Stour which shares a boundary with the site. It has medium significance due to its historic associations and aesthetic with tower reflecting that of NHLE 1244820.</p> <p>This is an extremely sensitive site situated in close proximity to a Grade II* listed building, and near the centre of the Green Street Conservation Area. It is highly visible from several viewpoints both elevated and from at level, and also from the S&amp;W Canal Conservation Area. The value of the buildings on the site is increased by their group relationship to other contemporary structures which gives this part of the Conservation Area a distinctive urban "Borough" character.</p> <p>The loss of the principal building on the site would cause harm to the significance of the Conservation Area, and thus it should be retained.</p> <p>Construction of modern housing to the rear of the fire station will affect inter-visibility between the surrounding heritage assets from within and outside the site and could cause harm to their settings.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>This site is visible from principal routes into the town centre as well as from several vantage points within both Green Street and the Canal Conservation Areas. This makes it essential that any development on the site reflects and compliments the existing character and quality of the historic buildings within the Conservation Area.</p> <p>In particular the close proximity to Caldwell Hall requires a bespoke approach to the design of any replacement buildings. There will be a need for careful consideration of the layout, design, scale and materials used within any development to ensure that the development contributes positively to this sensitive location.</p>

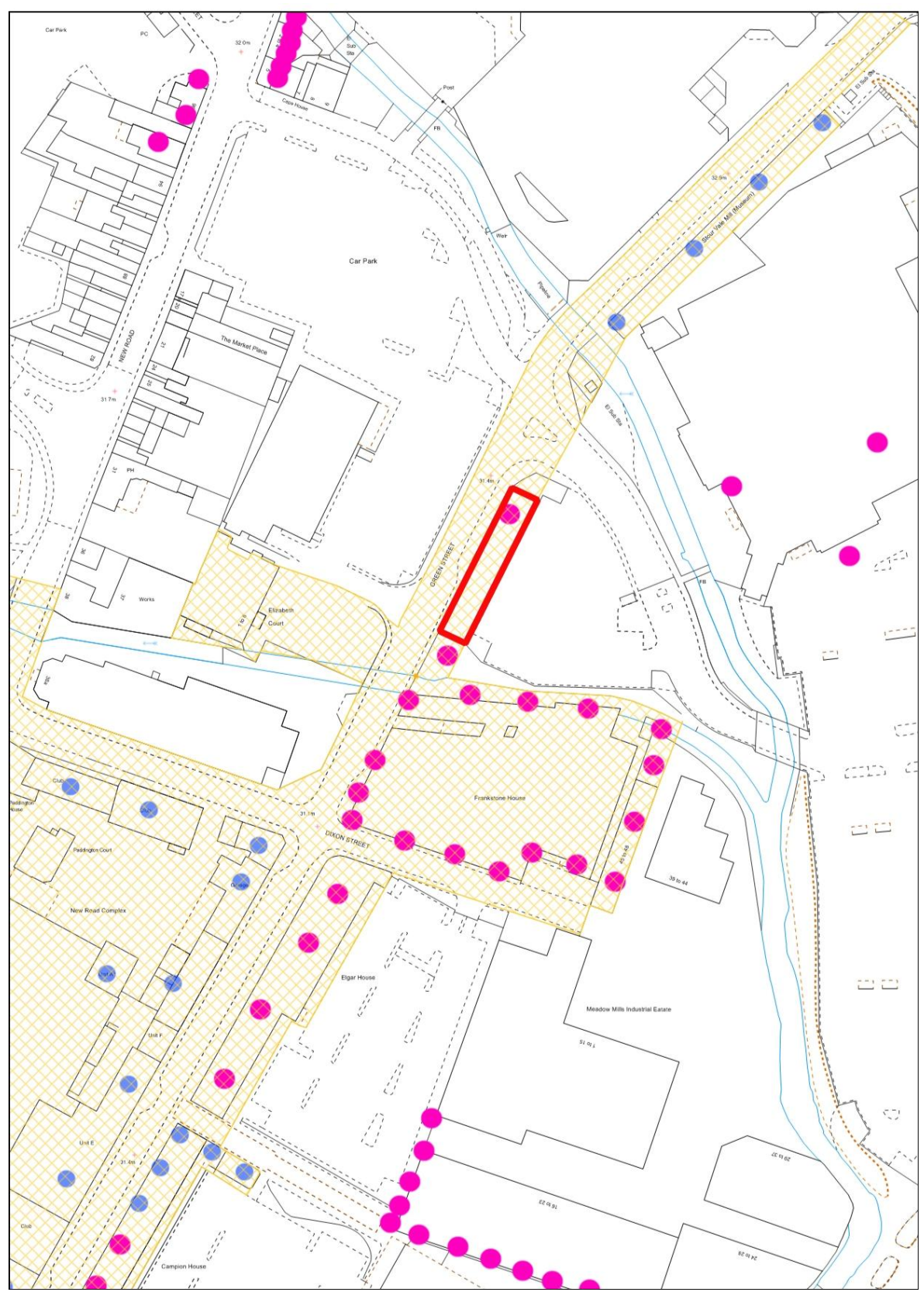
<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>The retention of the existing non-designated heritage asset on the site is vital as loss of this feature will rob Castle Road of its urban Borough character which will thus harm the setting of the adjacent designated and undesignated heritage assets.</p> <p>Building recording level 3 will provide a record of any modern buildings to be demolished.</p> <p>In terms of mitigating impact on anticipated (and perhaps extensive) below ground archaeology there will be a requirement for a desk based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource.</p> <p>Dependant on the significance of archaeological heritage assets development may not be feasible on certain parts of the site (where, for example scheduling is considered appropriate protection). Recording may be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>If part of the undesignated heritage asset is to be demolished there is potential for part of the site to accommodate a new development, and this could if sensitively designed provide a high degree of enhancement to the remaining part of the asset as well as making a contribution to enhancing the setting of other designated heritage assets with which there is inter-visibility from this site.</p> <p>Yes. Site allocations policy.</p> <p>Policies 11B and 26 refer to the enhancement of heritage assets and the need to assess significance of assets affected by proposed development.</p>

<p>5) What further work is required?</p>	<p>High potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation.</p> <p>Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance.</p> <p>Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: BHS/39

Site Name:  
BOUCHER BUILDING

Housing



Crown Copyright 100018317





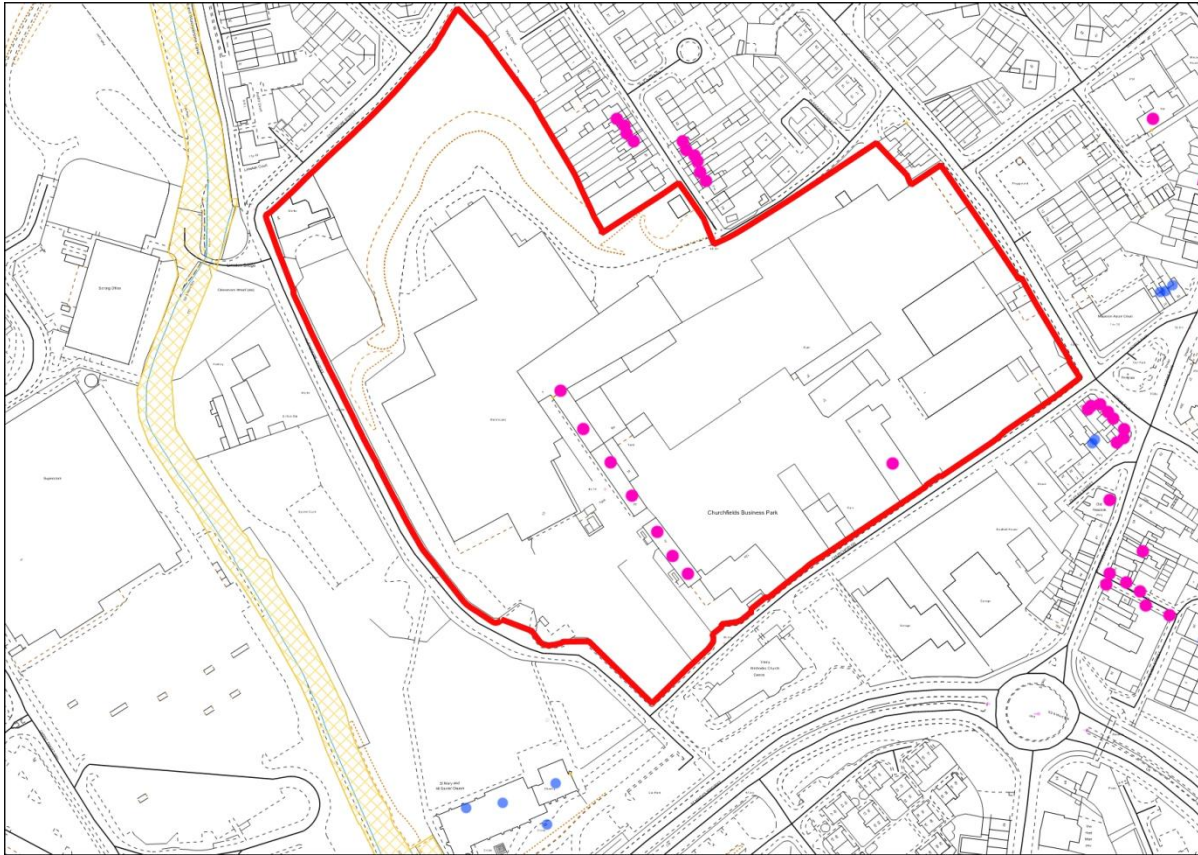
<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>15<sup>th</sup> century Grade II* Caldwell Hall</p> <ul style="list-style-type: none"> <li>• The extensive use of brick with two to four storey heights being common, and taller landmark towers</li> </ul> <p>The Conservation Area has high historic, aesthetic and communal value and medium evidential value. Overall significance is medium/high.</p> <p>NHLE: 1244819 is a carpet factory of 1856 designed by the nationally important architect J.G. Bland. In terms of significance it has medium /high aesthetic and historic value and low evidential and communal value. The overall significance is medium.</p> <p>Chlidema Carpet Factory Site, Green Street, Kidderminster WSM12904 (included on the local heritage list for Kidderminster as Stourvale Mill and Boucher ref: LLK431) has some aesthetic and historic significance – it was used to manufacture mountings for guns in WW2;</p> <p>LLK435 represents an early 20<sup>th</sup> century manufactory providing a strong contribution to the building line at the corner of Dixon Street and Green Street. It has medium aesthetic and communal value and low communal and evidential value. The overall significance is medium/low.</p> <p>The conversion of LLK431 fronting Green Street into residential/office accommodation will remove some understanding of its former use, but will retain its aesthetic contribution to the Conservation Area.</p> <p>If the building is demolished this may cause total loss of significance of these elements of this undesignated heritage asset. There may be less than substantial harm caused to the character and appearance of the Conservation Area as a result and also to the setting of the listed building NHLE: 1244819.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>Building recording level 3 will provide a record of the interior of LLK431 prior to conversion.</p>

c) If mitigation is not possible, are there benefits that justify the development?	Not applicable.
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Sensitively designed internal re-ordering and specification of aesthetically compatible replacement fenestration to the retained street frontage has potential to enhance the appearance of the Conservation Area. Use of ground floor for non-residential purposes required due to flood risk.</p> <p>Yes. Site allocations policy.</p> <p>Policy 11B requires the protection, conservation and enhancement of heritage assets in conjunction with Policy 26A.</p>
5) What further work is required?	<p>Where development may result in the loss of internal features of built heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance in the form of a level 3 building recording.</p> <p>This assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings within the Green Street Conservation Area.</p> <p>As will all riverside environments, there is a high potential for preserved historic riverside features and environmental deposits.</p>

Site Ref: BW/1

Site Name:  
CHURCHFIELDS

Housing plus Commercial



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Designated heritage assets:

Staffordshire and Worcestershire Canal Conservation Area;

NHLE: 1302067 5&6 Horsefair

NHLE: 1380086 20, 21 & 22 Horsefair

NHLE 1300050 Parish Church of St Mary and All Saints.

Undesignated heritage assets:

Included on Worcestershire HER:

Tomkinson's Carpet Factory Site WSM38287

<p>c) What is the proximity?</p>	<p>Included on Local Heritage List for Kidderminster:</p> <p>Offices and Manufacturing Buildings c. 1900 Ref: LLK92</p> <p>Industrial building 1902 Ref: LLK89</p> <p>The site potentially contains archaeological remains of pre-industrial buildings including housing at: Pleasant Street; Duke Street, Duke Place; Chadwick Square; Mount Pleasant and Milk Street; also various manufactories and Almshouses adjacent to Chadwick Square.</p> <p>46 Clensmore Street is an example of an undesignated Victorian Works still in use at the time of writing.</p> <p>Staffordshire and Worcestershire Canal Conservation Area lies 15m to the west of the site at its closest point.</p> <p>NHLE: 1302067 5&amp;6 Horsefair lie 22m to the SE of the site.</p> <p>NHLE: 1380086 20, 21 &amp; 22 Horsefair lie 55m to the NE of the site.</p> <p>NHLE 1300050 Parish Church of St Mary and All Saints lies 50m SW of the site; churchyard walls much closer.</p> <p>Undesignated heritage assets within the site boundary:</p> <p>Tomkinson's Carpet Factory Site WSM38287</p> <p>Offices and Manufacturing Buildings c. 1900 Ref: LLK92</p> <p>Industrial building 1902 Ref: LLK89</p> <p>46 Clensmore Street</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>The significance of the Staffordshire and Worcestershire Canal Conservation Area is summarised as follows:</p> <p><i>"The Canal was planned by the famous engineer James Brindley and completed in 1772. It links the Rivers Trent and Severn via the industrial Midlands, and</i></p>

	<p><i>forms an important historic feature running north-south for over fourteen kilometres through the District.</i></p> <p><i>Associated with the Canal are several bridges, locks, basins, cottages, warehouses and walls, together with the towpath; which form part of its special interest. The principal building materials are red brick, particularly associated with the earlier canal buildings and structures; and all buildings have pitched roofs, generally with grey slates. The corners to buildings are often curved, in order to facilitate turning by wagons. Walls are always capped with semi-circular coping to help reduce wear on ropes and to shed rainwater. Iron metal work (painted black) is a feature of the locks and some narrow bridges. The wider bridges are constructed of red brick and utilize a semi-elliptical arch structure.</i></p> <p><i>There are many trees and shrubs along the canal side that add to the character of the Conservation Area.</i></p> <p><i>The Canal is an important leisure resource, adding to its profile. In this respect, the water way is a popular route for leisure boats, with a major complex of basins located at its southern end in Stourport-on-Severn. The towpath is a popular route for walking and cycling.</i></p> <p><i>The Canal Conservation Area consists of four fairly distinct sections:</i></p> <p><i>Attractive, well wooded, northern section where it has been cut into sandstone cliffs to maintain its course along the contour, and passes through two locks and a tunnel. Bridge No. 25 is a Listed Building;</i></p> <p><i>Urban section past the carpet mills through the old industrial heart of Kidderminster;</i>  <i>Section parallel to the lower reaches of the River Stour in more open landscape; and</i>  <i>Section within the Stourport-on-Severn Town Centre where the Canal joins the River Severn via a series of basins. This part of the Canal is covered by separate Conservation</i></p>
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<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p><i>Area designations.”</i></p> <p>The canal Conservation Area has high evidential, historical, aesthetic and communal value and overall it is of high significance.</p> <p>NHLE 1300050 St Marys Church is the most prominent and significant listed building in Kidderminster (Grade I). Its elevated location contributes to this significance and there is inter-visibility with a large part of this site.</p> <p>NHLE: 1302067 5&amp;6 Horsefair has high aesthetic and historic significance being one of the most historic buildings in this part of Kidderminster; it has relatively low evidential and communal value.</p> <p>NHLE: 1380086 20, 21 &amp; 22 Horsefair are of high aesthetic and historic significance and possess some communal significance, particularly as they have been repaired to a very high standard and much research has been produced as a result of the recent Heritage Lottery Funded project.</p> <p>Tomkinson’s Carpet Factory Site WSM38287 Is of mainly historic significance with some aesthetic value.</p> <p>Offices and Manufacturing Buildings c. 1900 Ref: LLK92 and Industrial building 1902 Ref: LLK89 possess medium aesthetic and historic value with low evidential and communal value, overall significance is medium.</p> <p>46 Clensmore Street is a good example of a late Victorian Corner Public House of a type more common in Birmingham, later converted into works. The scale of the building and the fact it turned a corner gives rise to speculation that further development was anticipated either side of the building.</p> <p>The high evidential, historic, aesthetic and communal values of St. Mary’s Church to the west of the site mean that the historic environment adjacent to the site is very sensitive to change.</p> <p>Development on the site will affect the setting of St Mary’s Church as seen from Churchfields and will affect views from the</p>
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	<p>ring road to the south and east in which there is co-visibility between the site and St Mary's Church.</p> <p>The west part of the site is clearly visible from the northern part of Crossley Park and from the wider plain of the River Stour on the opposite side of the canal. It also forms the backdrop to the Canal Conservation Area and to Lime Kiln Bridge spanning the canal close to the western extremity of the site.</p> <p>Development here has potential to impact significantly on views to and from this part of the town and on the setting of designated heritage assets.</p> <p>Development on the eastern part of the site may impact on the setting of 5&amp;6 Horsefair although the development is to the rear of these properties.</p> <p>Development on the eastern part of the site has potential to impact on the wider setting of 20, 21, 22 Horsefair as viewed from the Stourbridge Road approaching the town from the east.</p> <p>The surviving elements of the carpet industry on the site may lose some historic significance as a result of development on land between and around them, as their relationship and inter-visibility could be compromised.</p> <p>Any proposals to demolish undesignated heritage assets on the site will cause substantial harm due to the complete loss of significance of the assets. Loss of the undesignated assets has potential to harm the setting of surrounding designated heritage assets and the level of harm should be considered under the NPPF planning balance.</p> <p>The site has a history of pre-industrial development and there is high potential for archaeological remains below ground. Development which would involve construction of new foundations could result in loss or fragmentation of surviving archaeological remains.</p> <p>Parts of the site appear to have been redeveloped at least twice in its history. The</p>
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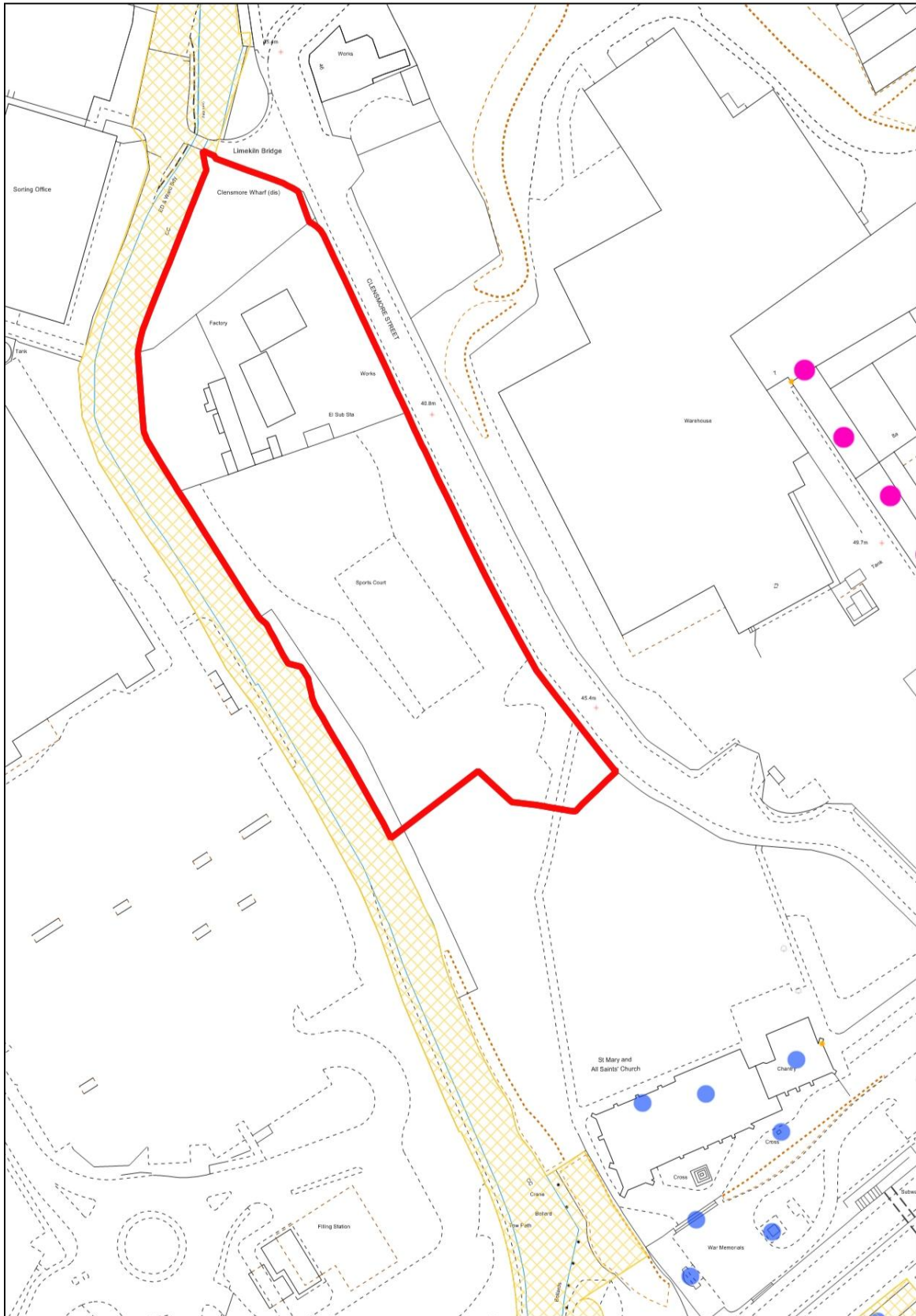
	significance of these assets is at present unknown.
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>This site is highly visible from within the Staffs and Worcs Canal Conservation Area, the ring-road and several other publicly accessible vantage points. This makes it essential that any development on this prominent site reflects and compliments the existing character and quality of the historic environment adjacent to the Staffordshire and Worcestershire Canal and responds to the setting of St. Mary's Church.</p> <p>The steeply sloping nature of the northern end of the site will require careful consideration of the layout, design, scale and materials used within any development to ensure that the development contributes positively to this sensitive location.</p> <p>There is potential to create and/or enhance Green Infrastructure connectivity through the site to better reveal its historic significance.</p> <p>In terms of mitigating impact on below ground archaeology there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be required by an appropriate professional.</p> <p>An understanding of the historic layout of this part of the town and the now lost street pattern and grain of development may better inform a comprehensive design strategy for this site.</p> <p>Public benefits associated with provision of housing can be considered when assessing any scheme of development against harmful impacts on heritage assets.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p>	<p>Yes.</p> <p>The retention of the 1902 Building LLK89 as a familiar landmark visible most clearly from</p>

<p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>the ring road to the east will better reveal the significance of this former industrial site.</p> <p>The retention of the offices and manufacturing buildings which form the range identified as LLK92 will emphasise the historic layout of the western part of the site, which had a strong north-south orientation prior to 20<sup>th</sup> century redevelopment as a carpet manufactory. LLK92 formed the east side of Duke Street.</p> <p>The setting of St Mary's Church should be a prime consideration for any development at the south-west corner of the site and the scale and form and massing of development here will require careful consideration if it to avoid harm to the setting of this listed building.</p> <p>Yes. Site allocation policy can reflect the opportunities outlined above.</p> <p>Policies 11B and 26 refer to the enhancement of heritage assets and the need to assess significance of assets affected by proposed development.</p>
<p>5) What further work is required?</p>	<p>High potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: BW/2

Site Name:  
LIMEKILN BRIDGE

Housing



Crown Copyright 100018317



	<p><i>and walls, together with the towpath; which form part of its special interest. The principal building materials are red brick, particularly associated with the earlier canal buildings and structures; and all buildings have pitched roofs, generally with grey slates. The corners to buildings are often curved, in order to facilitate turning by wagons. Walls are always capped with semi-circular coping to help reduce wear on ropes and to shed rainwater. Iron metal work (painted black) is a feature of the locks and some narrow bridges. The wider bridges are constructed of red brick and utilize a semi-elliptical arch structure.</i></p> <p><i>There are many trees and shrubs along the canal side that add to the character of the Conservation Area.</i></p> <p><i>The Canal is an important leisure resource, adding to its profile. In this respect, the water way is a popular route for leisure boats, with a major complex of basins located at its southern end in Stourport-on-Severn. The towpath is a popular route for walking and cycling.</i></p> <p><i>The Canal Conservation Area consists of four fairly distinct sections:</i></p> <p><i>Attractive, well wooded, northern section where it has been cut into sandstone cliffs to maintain its course along the contour, and passes through two locks and a tunnel. Bridge No. 25 is a Listed Building;</i></p> <p><i>Urban section past the carpet mills through the old industrial heart of Kidderminster;</i></p> <p><i>Section parallel to the lower reaches of the River Stour in more open landscape; and</i></p> <p><i>Section within the Stourport-on-Severn Town Centre where the Canal joins the River Severn via a series of basins. This part of the Canal is covered by separate Conservation Area designations.”</i></p> <p>The canal Conservation Area has high evidential, historical, aesthetic and communal value and overall it is of high significance.</p> <p>NHLE 1300050 St Marys Church is the most prominent and significant listed building in Kidderminster (Grade I). Its elevated location contributes to this significance and there is inter-visibility with a large part of this site.</p> <p>Clensmore Works WSM36827 was recorded</p>
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<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>on the 1<sup>st</sup> edition Ordnance Survey as a Chemical Works. Whilst there are no visible remains of this on the site the potential exists for archaeological remains below ground – the significance of these has yet to be determined.</p> <p>Site of Wharf – Staffs and Worcs Canal WSM36217 – the wharf now forms part of a boatyard and whilst the existing buildings are modern they may be built upon the foundations of the historic wharf structures. The evidential significance of the wharf has yet to be determined.</p> <p>The site contains potential remains of undesignated heritage assets which appear to have once formed a housing development along Clensmore. The significance of these buildings is at present unknown.</p> <p>The high evidential, historic, aesthetic and communal values of St. Mary’s Church to the east of the site mean that the historic environment adjacent to the site is very sensitive to change.</p> <p>The site is very visible from Crossley Park on the opposite side of the canal adjacent to built designated heritage assets. It is also seen as a backdrop to the Canal Conservation Area and St Mary’s Church from the ring-road. Development on the site will also affect the setting of St Mary’s Church as seen from Clensmore and will affect views across from Clensmore to Mount Skipet to the west.</p> <p>Development here has potential to impact significantly on views to and from this part of the town and on the setting of designated heritage assets.</p> <p>The site has a history of industrial use and there is potential for archaeological remains below ground. Development which would involve construction of new foundations could result in loss or fragmentation of surviving archaeological remains.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>This site is highly visible from within the Staffs and Worcs Canal Conservation Area, the ring-road and several other publicly accessible vantage points. This makes it essential that any development on this</p>

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>prominent site reflects and compliments the existing character and quality of the historic environment adjacent to the Staffordshire and Worcestershire Canal and responds to the setting of St. Mary's Church.</p> <p>The steeply sloping nature of the site will require careful consideration of the layout, design, scale and materials used within any development to ensure that the development contributes positively to this sensitive location. There is potential to enhance the already excellent Green Infrastructure connectivity.</p> <p>In terms of mitigating impact on below ground archaeology there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be required by an appropriate professional.</p> <p>An understanding of the historic extent of the chemical works may better inform a remediation and de-contamination strategy for this site.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>The retention of the Wharf, in terms of its plan and relationship to the built environment would better reveal the significance of this part of the Staffs and Worcs Canal Conservation Area.</p> <p>The site of the chemical works may offer the opportunity to create a public open space or link to GI network if remediation and decontamination make development on that part of the site unviable.</p> <p>Policies 11B and 26 refer to the enhancement of heritage assets and the need to assess significance of assets affected by proposed development.</p>

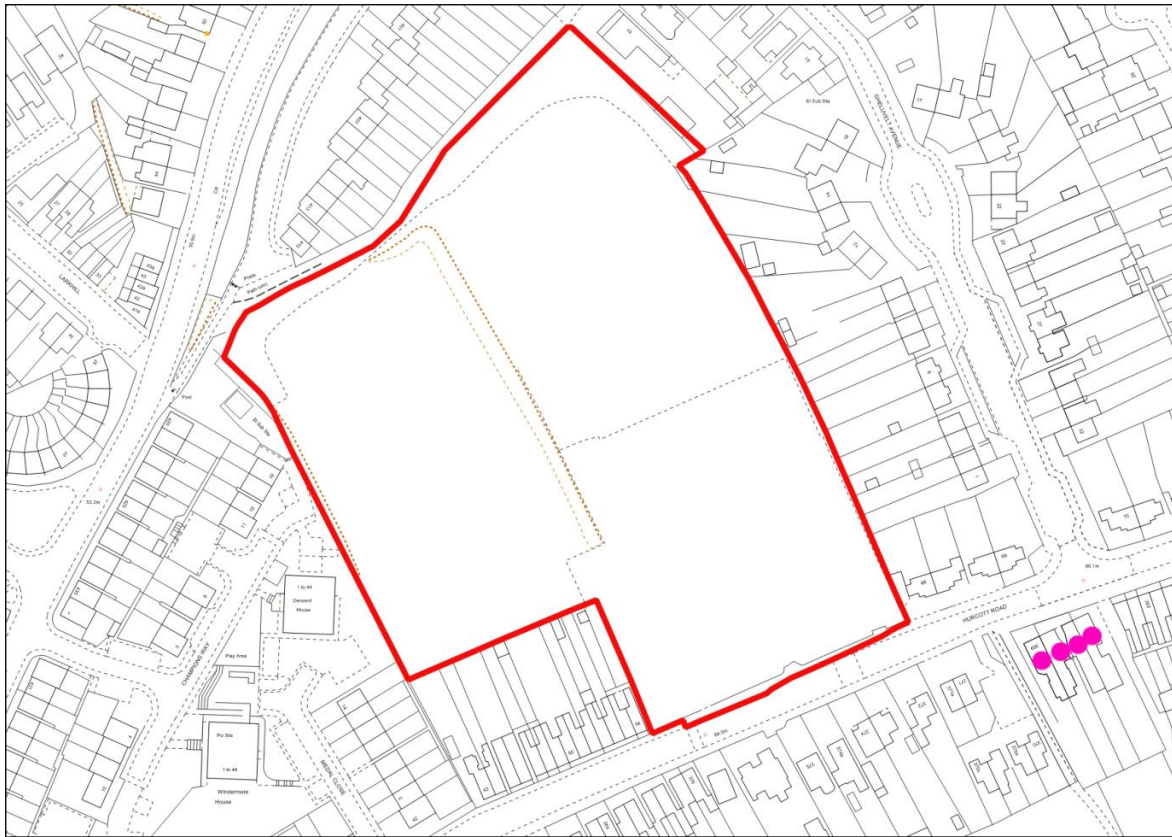


<p>5) What further work is required?</p>	<p>High potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: BW/3

Site Name:  
SLADEN SCHOOL

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Undesignated heritage assets:  
Site of Air Raid Shelters, Sladen School (WSM17252).

Undesignated heritage assets:  
Local Heritage List for Kidderminster ref: LLK183 Terrace of 4 houses.

Undesignated heritage assets: buildings shown on 1884 and 1903 maps now demolished.

c) What is the proximity?

Former buildings on the site.

Location of WSM17252 unknown.

LLK183 is 20m to the SE.

2a) What is the significance of the heritage assets?

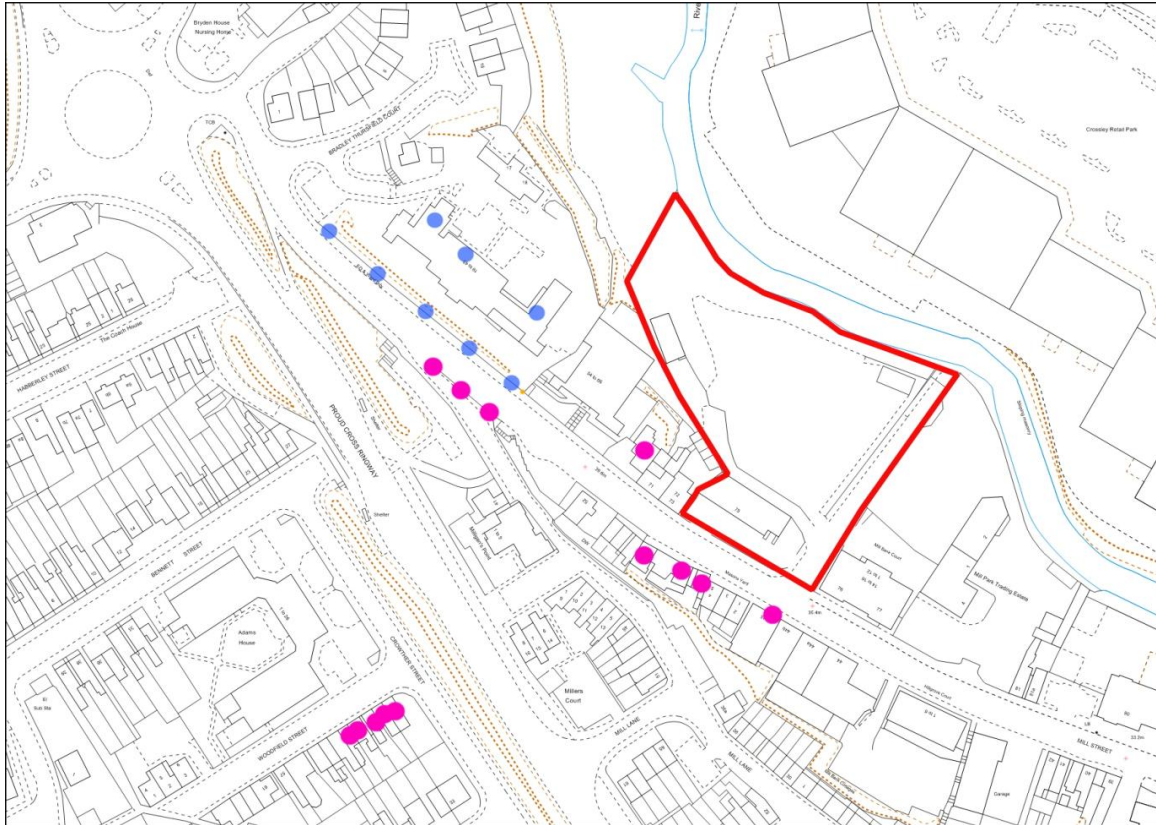
No legible heritage assets on site but potential for archaeological remains of

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>WSM17252 and now demolished buildings shown on 1884 and 1903 maps.</p> <p>LLK183 included as examples of large Victorian terraced houses with surviving architectural features.</p> <p>Development which would involve construction of new foundations could result in loss or fragmentation of surviving archaeological remains.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation Possible</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on below ground archaeology there will be a requirement for a desk-based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: FHN/11

Site Name:  
BT BUILDING MILL STREET

Housing or Commercial



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Designated heritage asset included on the National Heritage List for England:

Kidderminster General Hospital....NHLE1249450;

Undesignated heritage assets included on the Worcestershire HER:

Tenement Plots to N of Mill Street WSM20754;

Old Course of River Stour and Mill Leat WSM20723;

Medieval Street System Kidderminster WSM20752;

Undesignated heritage asset included on the Local Heritage List for Kidderminster:



<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>This site is visible from several vantage points within Mill Street and from further afield to the east.</p> <p>This makes it essential that any development on the site reflects and compliments the existing character and quality of the historic buildings within Mill Street.</p> <p>In particular the close proximity to Caldwell Hall requires a bespoke approach to the design of any replacement buildings. There will be a need for careful consideration of the layout, design, scale and materials used within any development to ensure that the development contributes positively to this sensitive location.</p> <p>In terms of mitigating impact on anticipated (and perhaps extensive) below ground archaeology there will be a requirement for a desk based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource.</p> <p>Dependant on the significance of archaeological heritage assets development may not be feasible on certain parts of the site. Recording may be required by an appropriate professional.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Not yet known.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>High potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation.</p> <p>Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance.</p> <p>Archaeological assessment to accompany or be incorporated into a Heritage Statement</p>

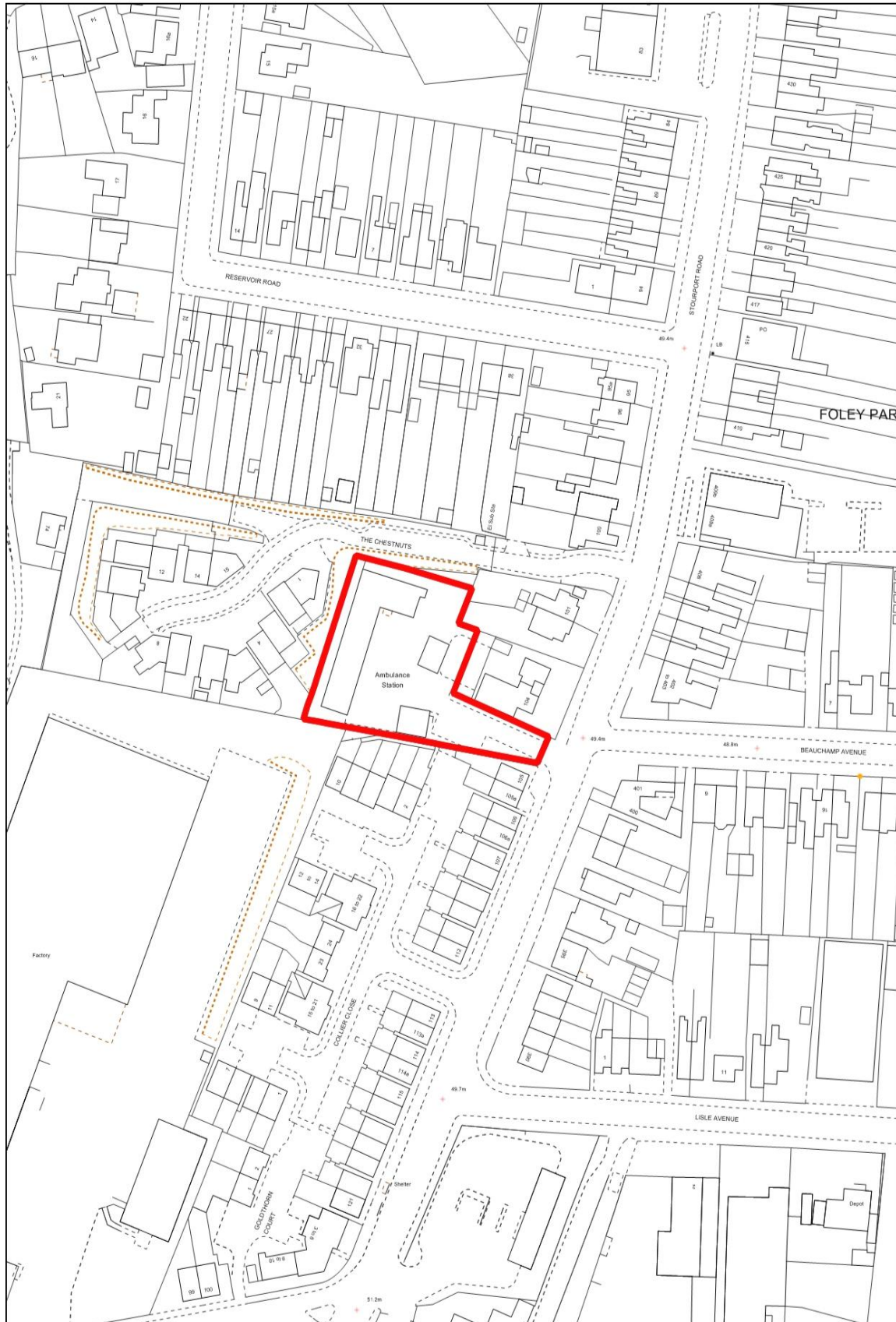
	submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.



Site Ref: FPH/5

Site Name:  
AMBULANCE STATION

Housing



Crown Copyright 100018317

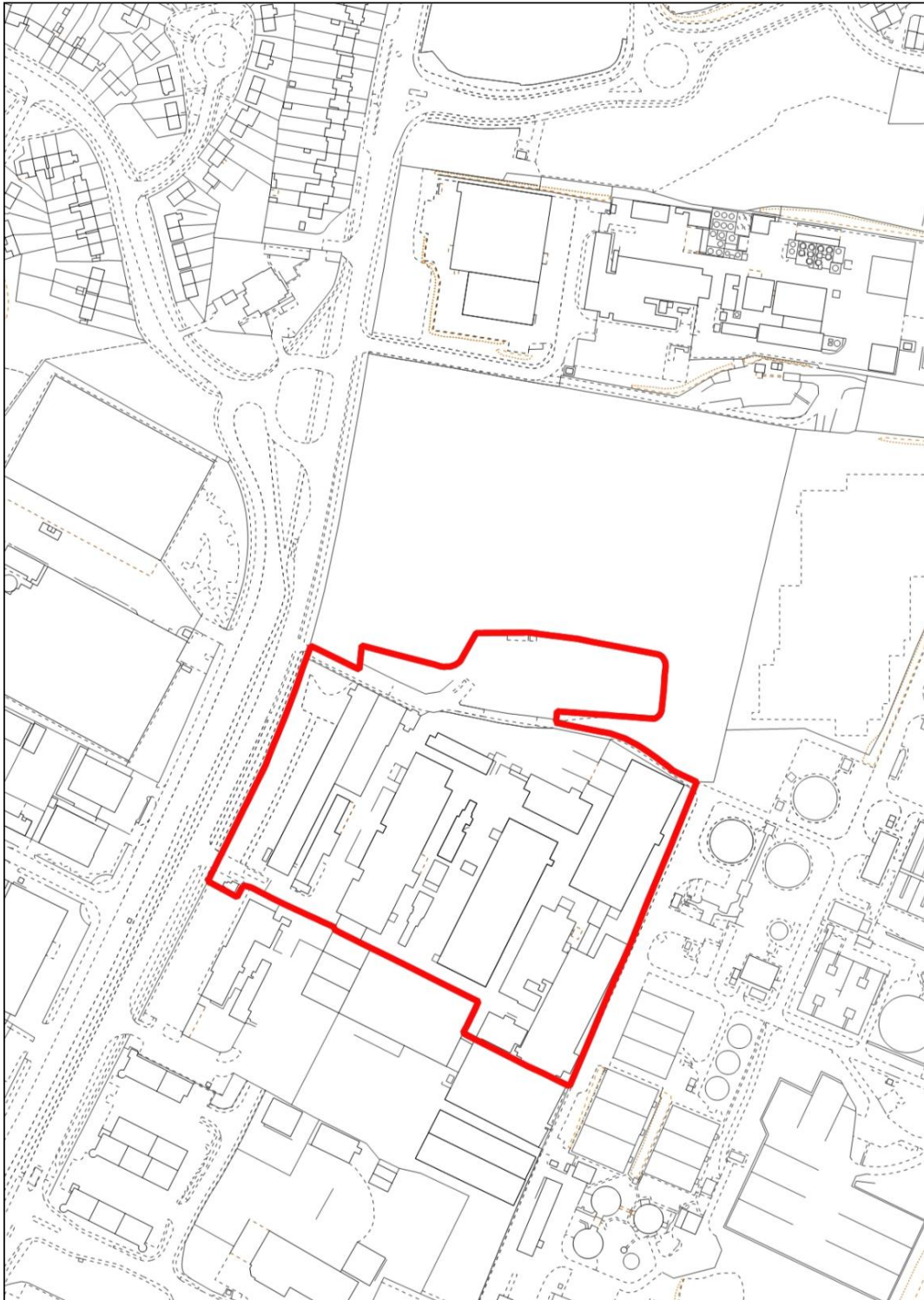
<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes, b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Undesignated heritage assets recorded on the Worcestershire HER:</p> <p>Site of Communal Air Raid Shelter, Rear Ambulance Station, Stourport Road WSM33307;</p> <p>Tramway, Kidderminster and Stourport Electric Tramway Company WSM34538;</p> <p>Foley Mill, Stourport Road, Kidderminster Road WSM29461;</p> <p>WSM33307 lies to the north of the site.</p> <p>WSM34538 ran past the eastern boundary of the site.</p> <p>WSM29461 adjacent to the site.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>WSM33307 may lie buried under the bank now with housing built on it. It has historic value and low significance only.</p> <p>WSM34538 and WSM29461 do not now exist thus their significance is low.</p> <p>Development on this site will have no impact on the three undesignated heritage assets situated outside the site boundaries.</p> <p>The site has unknown archaeological potential.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p>

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Development should respect the scale, morphology and materials of the adjacent historic suburban character.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: FPH/8

Site Name:  
SDF AND ADJACENT LAND

Employment



Crown Copyright 100018317

1 a) Is the site in proximity to  
Heritage assets?

If yes,

Yes.

<p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Undesignated heritage asset:</p> <p>WSM33283 - Smethwick Drop Forgings, Stourport Road, Kidderminster - Shadow factory for Smethwick Drop Forgings in WWII.</p> <p>Part of historic Oldington Wood.</p> <p>Site contains WSM33283</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>WSM33823: A shadow factory was built for Smethwick Drop Forgings in Kidderminster in about 1939. The factory made components for both aircraft and vehicles. Whilst the surviving buildings may have some limited historic significance, their aesthetic, communal and evidential value is low.</p> <p>Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.</p> <p>Redevelopment of the site will remove traces of the 1939 factory resulting in total loss of significance.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>Any above ground heritage assets to be recorded to level 3 building recording. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Site allocation policy to reflect the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p>	<p>Yes</p> <p>Where possible retain elements of historic woodland within the site, identify significant trees and other natural features and retain to enhance the environment of the redeveloped site.</p>

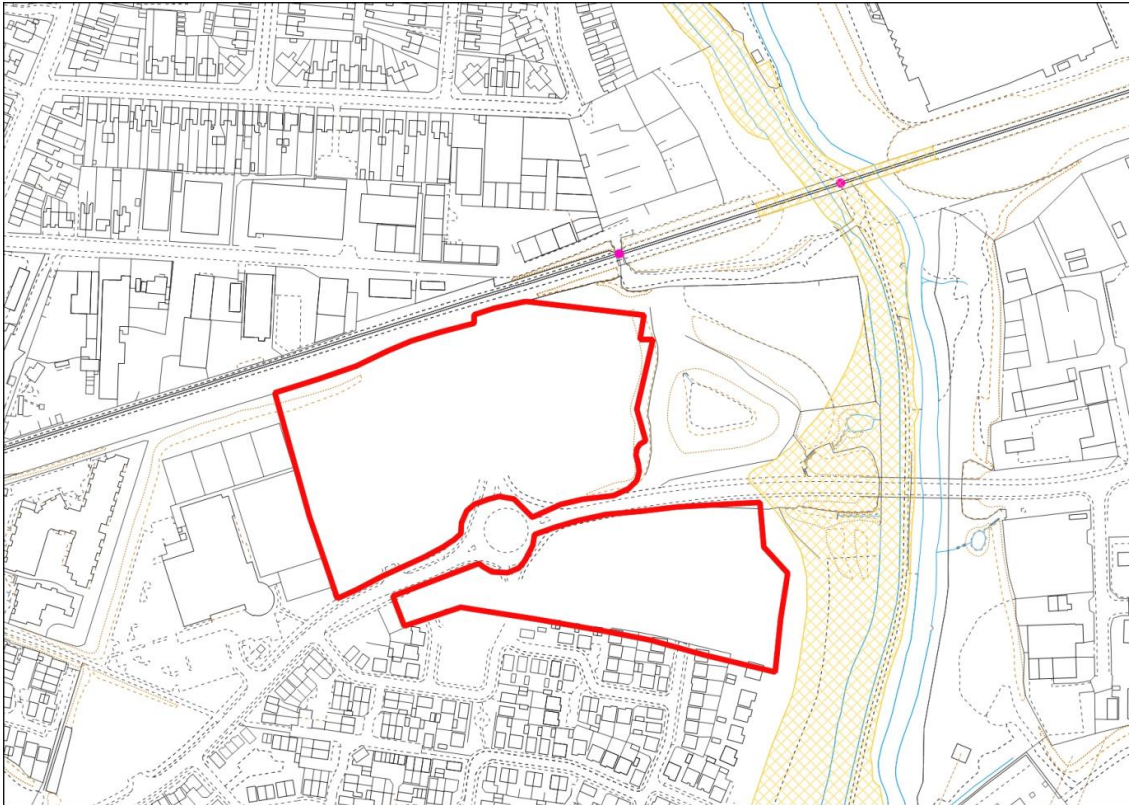
c) Can the Local Plan be amended to achieve the enhancements?	Not applicable.
5) What further work is required?	<p>Unknown potential for archaeology:</p> <p>Site will require a desk based archaeological assessment to identify potential for below ground archaeology and inform discussions about the scope and scale of any preservation and mitigation of existing buildings on the site. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: FPH/10

Site Name:  
BRITISH SUGAR PHASE 2

Employment and Residential



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Designated heritage assets: Staffordshire and Worcestershire Canal Conservation Area;

Undesignated heritage asset:

Severn Valley Railway Kidderminster to Bewdley Loop WSM31669

Local Heritage List for Severn Valley Railway:

Falling Sands Viaduct ref: SVR011

SVR Bridge 4 ref: SVR012

WSM49067: Area of palaeo-environmental interest - Marsh, West of Hoobrook Industrial Estate



<p>c) What is the proximity?</p>	<p>Staffs and Worcs Canal Conservation Area in close proximity to site to the east.</p> <p>WSM31669 lies between immediately to the north of the site.</p> <p>SVR011 lies approx. 125m to north east of site.</p> <p>SVR012 lies approx. 30m to north of site.</p> <p>WSM49067 lies approximately 150m east of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>The significance of the Staffordshire and Worcestershire Canal Conservation Area is summarised as follows:</p> <p><i>“The Canal was planned by the famous engineer James Brindley and completed in 1772. It links the Rivers Trent and Severn via the industrial Midlands, and forms an important historic feature running north-south for over fourteen kilometres through the District.</i></p> <p><i>Associated with the Canal are several bridges, locks, basins, cottages, warehouses and walls, together with the towpath; which form part of its special interest. The principal building materials are red brick, particularly associated with the earlier canal buildings and structures; and all buildings have pitched roofs, generally with grey slates. The corners to buildings are often curved, in order to facilitate turning by wagons. Walls are always capped with semi-circular coping to help reduce wear on ropes and to shed rainwater. Iron metal work (painted black) is a feature of the locks and some narrow bridges. The wider bridges are constructed of red brick and utilize a semi-elliptical arch structure.</i></p> <p><i>There are many trees and shrubs along the canal side that add to the character of the Conservation Area.</i></p> <p><i>The Canal is an important leisure resource, adding to its profile. In this respect, the water way is a popular route for leisure boats, with a major complex of</i></p>

*basins located at its southern end in Stourport-on-Severn. The towpath is a popular route for walking and cycling.*

*The Canal Conservation Area consists of four fairly distinct sections:*

*Attractive, well wooded, northern section where it has been cut into sandstone cliffs to maintain its course along the contour, and passes through two locks and a tunnel.*

*Bridge No. 25 is a Listed Building;*

*Urban section past the carpet mills through the old industrial heart of Kidderminster;*

*Section parallel to the lower reaches of the River Stour in more open landscape; and*

*Section within the Stourport-on-Severn*

*Town Centre where the Canal joins the River Severn via a series of basins. This*

*part of the Canal is covered by separate Conservation Area designations.”*

The canal Conservation Area has high evidential, historical, aesthetic and communal value and overall it is of high significance.

The Severn Valley Railway WSM31669 has medium aesthetic and historic value, whilst some individual structures have a high aesthetic and historic value and are designated heritage assets. Others of medium aesthetic and historic value are undesignated heritage assets included on Wyre Forest District Council's Local Heritage List.

Falling Sands Viaduct ref: SVR011 carries the Severn Valley Railway (1878 Kidderminster extension) over the Staffs and Worcs Canal and River Stour. It sits within the S&W Canal Conservation Area. It affords far-reaching views towards the town centre to the north and towards the Malvern Hills to the south. The site is prominent in views south from the viaduct.

SVR Bridge 4 ref: SVR012 carries the railway line over a minor road. The site is prominent in views south from this bridge.

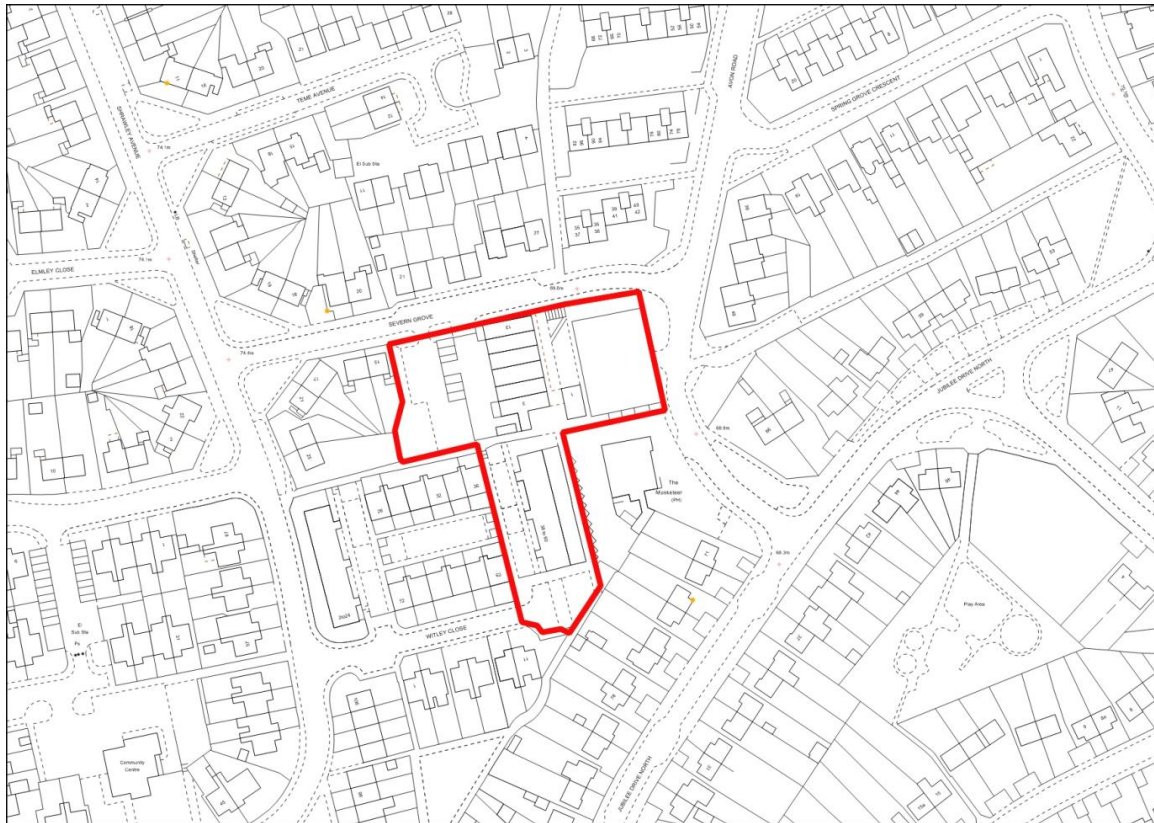
<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>The site is on raised land to the west of the canal and development on it may thus affect views towards and out of the Conservation Area and thus its significance in the wider landscape.</p> <p>There is good inter-visibility between the site and the Severn Valley Railway and its associated structures. Development on it may thus affect the setting of these undesignated heritage assets, and thus their significance in the wider landscape.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation Possible.</p> <p>This site is divided by the Hoobrook Link Road, adjacent to the Severn Valley Railway and clearly visible from the canal and River Stour. This makes it essential that any development on the site considers the existing character of the adjacent Staffordshire and Worcestershire Canal and enhances this.</p> <p>There will be a need for careful consideration of the layout, design, scale and materials used within any development to ensure that the development contributes positively to this sensitive location.</p> <p>That part of the site which is elevated and borders the Link Road will require particularly careful consideration as to the impact of any employment-related buildings rising above residential development to the rear of the site.</p> <p>In terms of mitigating impact on below ground archaeology there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be required by an appropriate professional.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>

<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Any development on this site should in form, scale, massing and materials serve to enhance the setting of the canal conservation area.</p> <p>Site allocations policy to reflect the above. Policies 11B and 26 refer to the enhancement of heritage assets and the need to assess significance of assets affected by proposed development.</p>
<p>5) What further work is required?</p>	<p>Potential for archaeology: Site will require a desk based archaeological assessment to identify the potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: FPH/15

Site Name:  
SEVERN GROVE SHOPS

Housing plus Commercial



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

None known.

2a) What is the significance of the heritage assets?

b) Will the proposed development have any impact on the significance? Please explain.

Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.

No known built heritage assets on site therefore the historic environment potential of the site is unknown.

3a) Are there mitigation measures that could overcome the impact/harm?

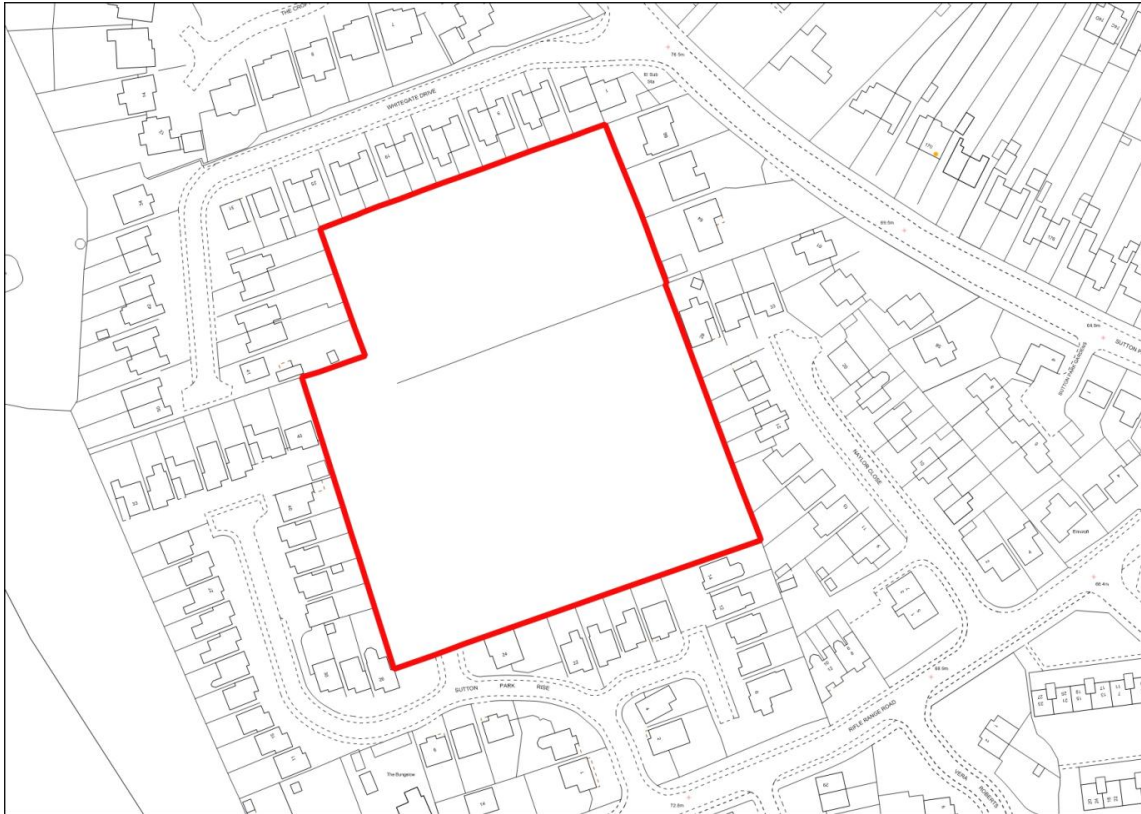
b) If yes, explain further including how mitigation could be achieved through the local plan

Yes. Mitigation possible.

No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: FPH/18	Site Name: NAYLORS FIELD Sutton Park Rise	Housing
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>None known.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based</p>

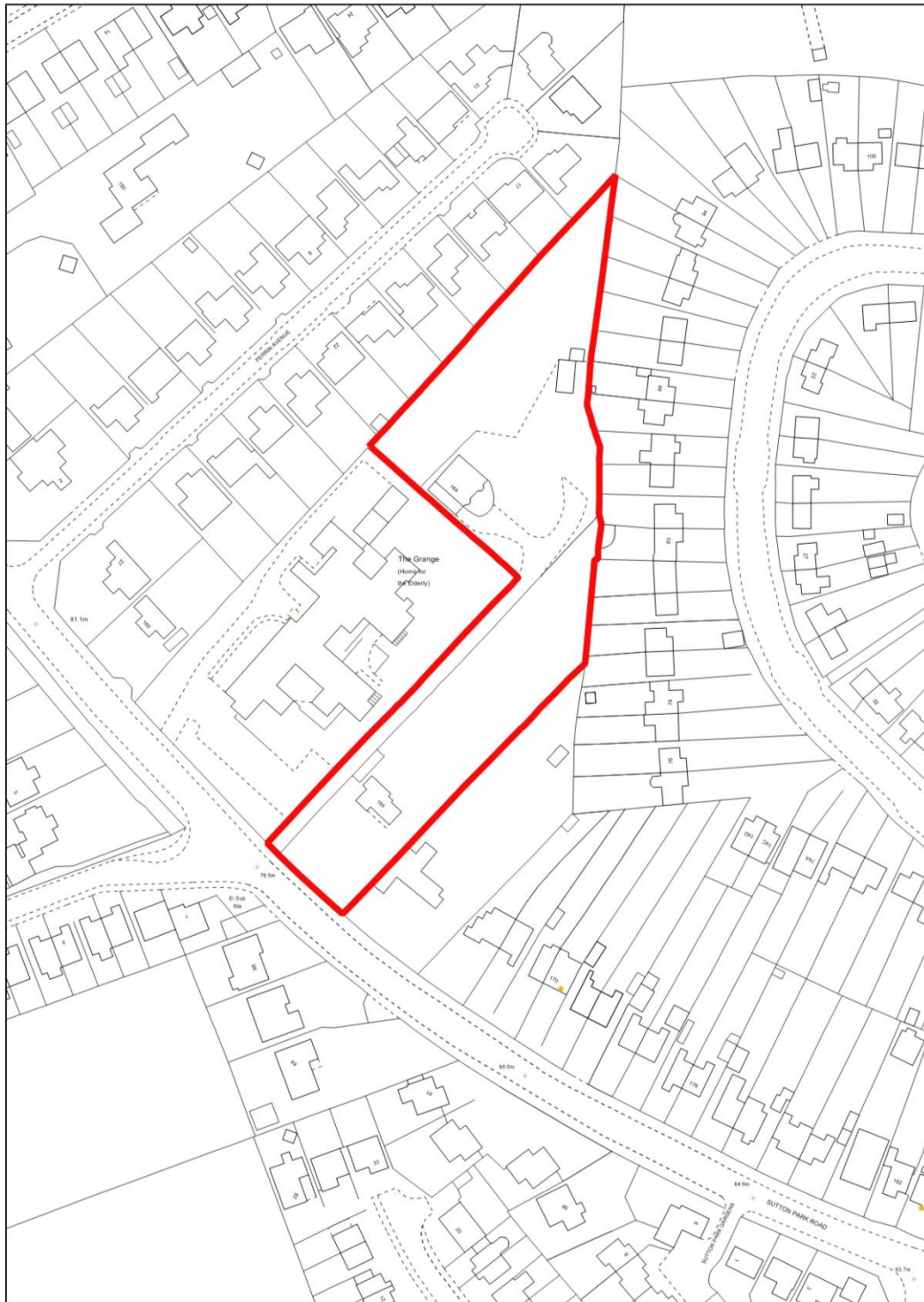


<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: FPH/19

Site Name:  
164/5 SUTTON PARK ROAD

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

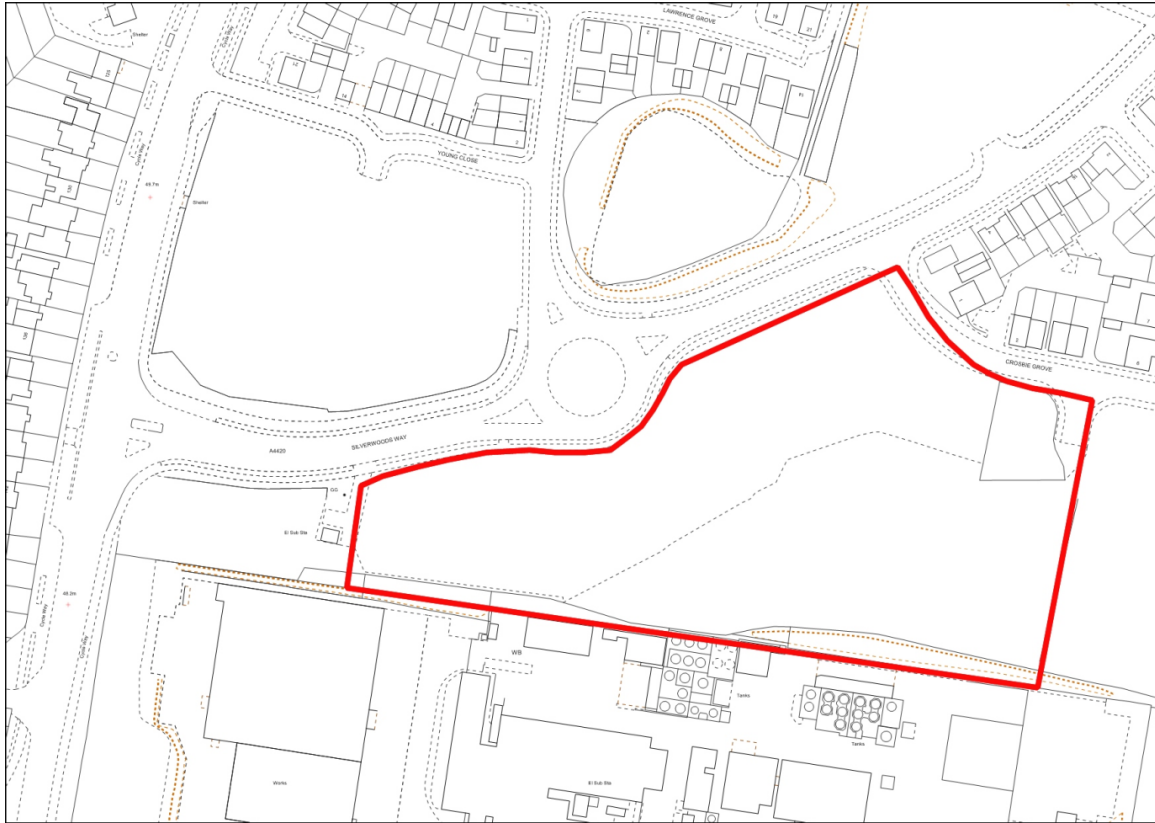
If yes,  
b) What type of heritage asset?

c) What is the proximity?

None known.

<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.</p> <p>The buildings on site date from the early-mid C20 and have not been identified as heritage assets.</p> <p>No other known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: FPH/23	Site Name: BRITISH SUGAR PHASE ONE REMAINDER	Employment
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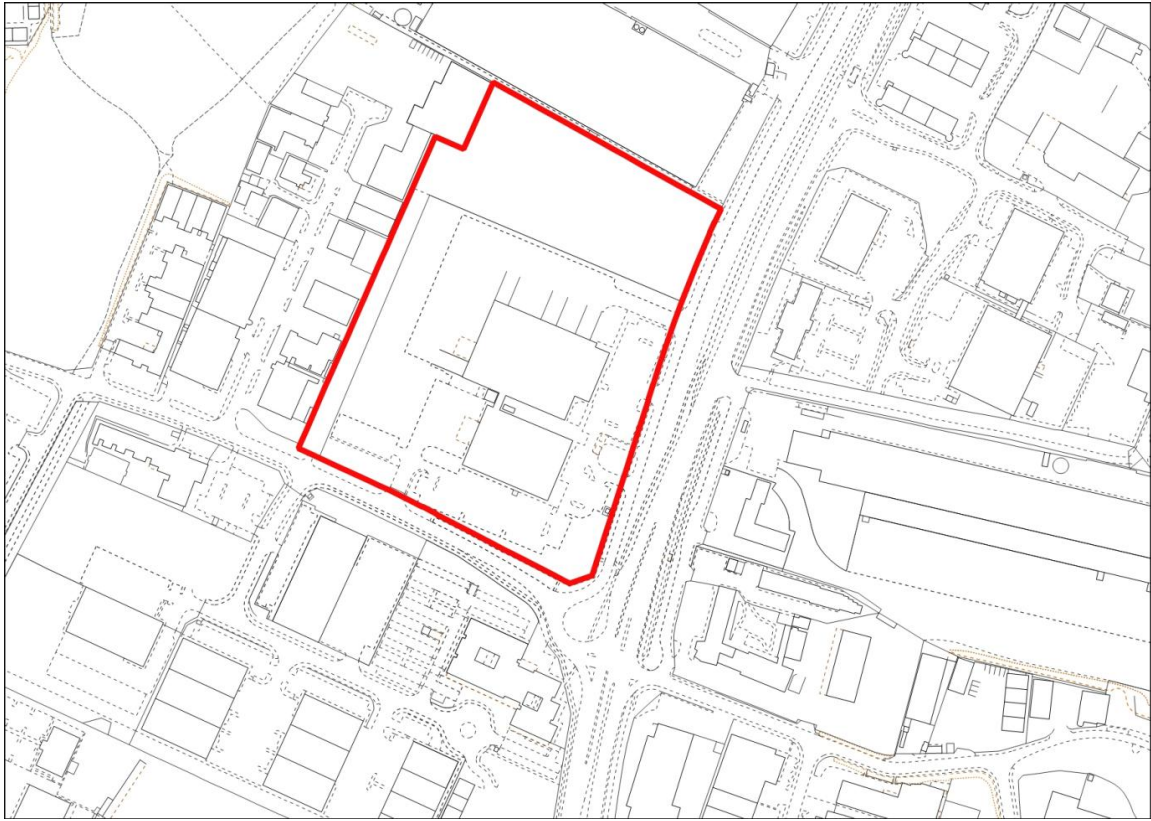


Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>None known.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Distant from historic core of any known historic settlement and comprised former woodland and gravel pits therefore low potential for below ground archaeology thus overall significance of the site is low.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p>	<p>Yes. Mitigation possible.</p>

<p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>No legible above ground heritage assets to protect. Site was formerly woodland then sand and gravel pits. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: FPH/24	Site Name: ROMWIRE SITE	Employment
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Crown Copyright 100018317

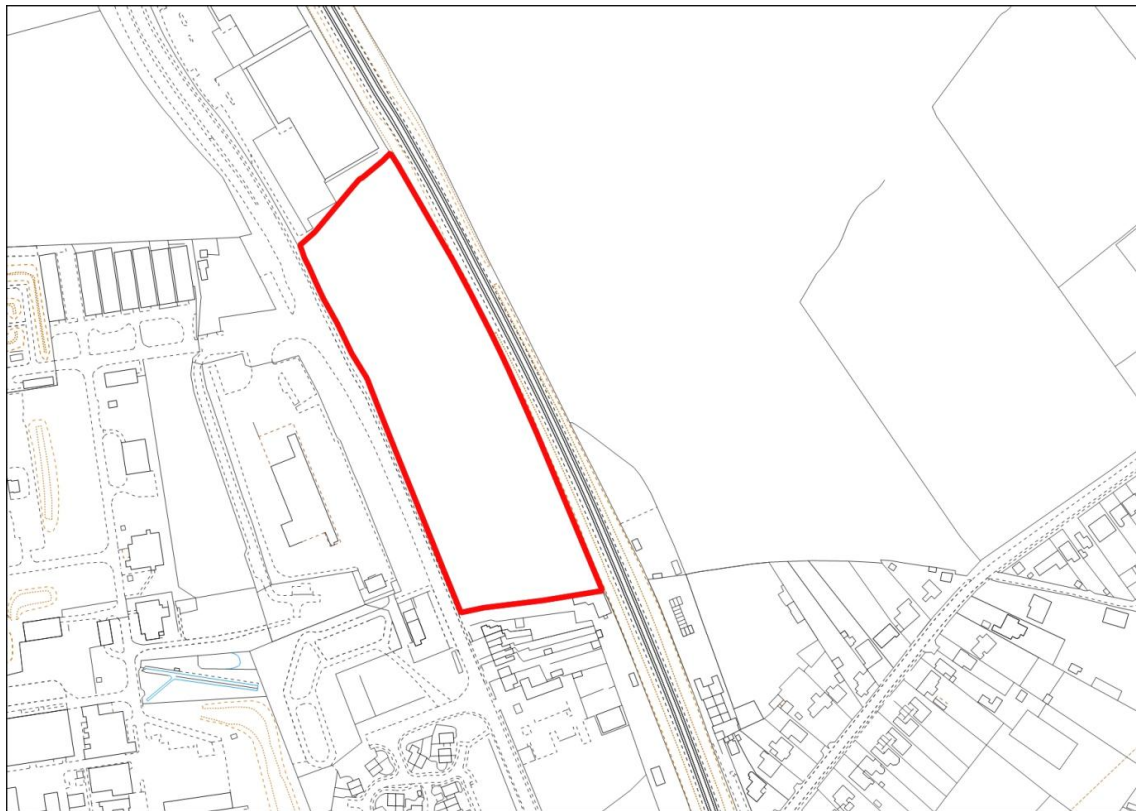
<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>None known on site.</p> <p>Undesignated heritage asset included on Worcestershire HER: WSM15020 Site of Oldington Medieval Settlement, Kidderminster.</p> <p>Adjacent to WSM15020 to the east.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>WSM15020 is the site of the deserted medieval settlement of Oldington (Aldintone in 1086, from 'Ealda's farm'). Included in Historic Farmsteads of Worcestershire project. This area is a farmstead, called Oldington Farm. Shown on the Ordnance Survey 1st Edition map, crossed by a holloway. Farmstead still extant on 1960s mapping but replaced with an industrial estate in the later 20th century. Oldington was one of 16 berewicks held by King William with Kidderminster in 1086. The</p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Manor of Oldington and the Manor of Hartlebury. Oldington Manor was originally part of an endowment to the Priory of Maiden Bradley and was held by them until the dissolution. The manor was purchased by Richard Foley in 1651. The Bishop of Worcester's Manor of Hartlebury bounds Oldington Manor and much of the land in the area of the Manor of Hartlebury was held by the bishop of Urban Ayre (Eyre). By the time of the 1821 Inclosure map, Thomas Foley, Richard Foley's son, held the land in Hartlebury previously held by Urban Ayre. Oldington Farm was demolished in 1970.</p> <p>WSM15020 has some historic significance but low evidential and negligible communal and aesthetic significance.</p> <p>It is unlikely that development on the site will impact directly on the significance of WSM15020 owing to the distance between it and the site.</p> <p>The site has been built on previously and thus surviving archaeological remains are likely to have been disturbed previously.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on below ground archaeology there will be a requirement for a desk-based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>

<p>5) What further work is required?</p>	<p>Unknown potential for archaeology:  Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement.</p>



Site Ref: FPH/27	Site Name: ADJ. EASTER PARK Worcester Road	Employment
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Crown Copyright 100018317

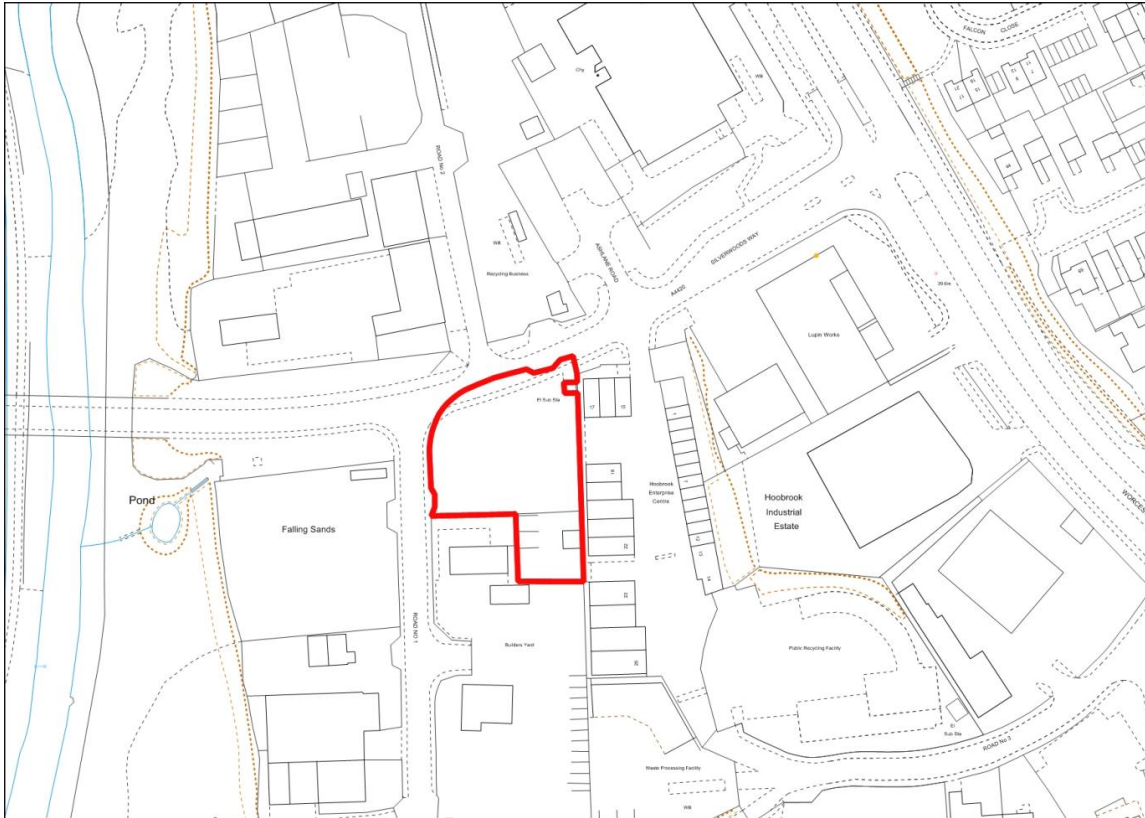
<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes</p> <p>No known built heritage assets on site.</p> <p>Undesignated heritage asset included on the Worcestershire HER: WSM31664: Oxford Worcester and Wolverhampton Railway.</p> <p>WSM31664 forms the eastern boundary of the site.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>WSM31664 Railway constructed c.1850-52 to accommodate GWR broad gauge but laid to standard gauge. Opened in 1852. At this location the railway runs along an embankment. It has medium historic and low aesthetic significance but negligible evidential or communal value.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>

<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation Possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: FPH/28

Site Name:  
HOOBROOK SITE

Employment



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Undesignated heritage asset included on the Worcestershire HER: WSM38010 Falling Sands Sluice, North of Wilden Marsh and Meadows Kidderminster.

c) What is the proximity?

Sluice ran north to south through the site.

2a) What is the significance of the heritage assets?

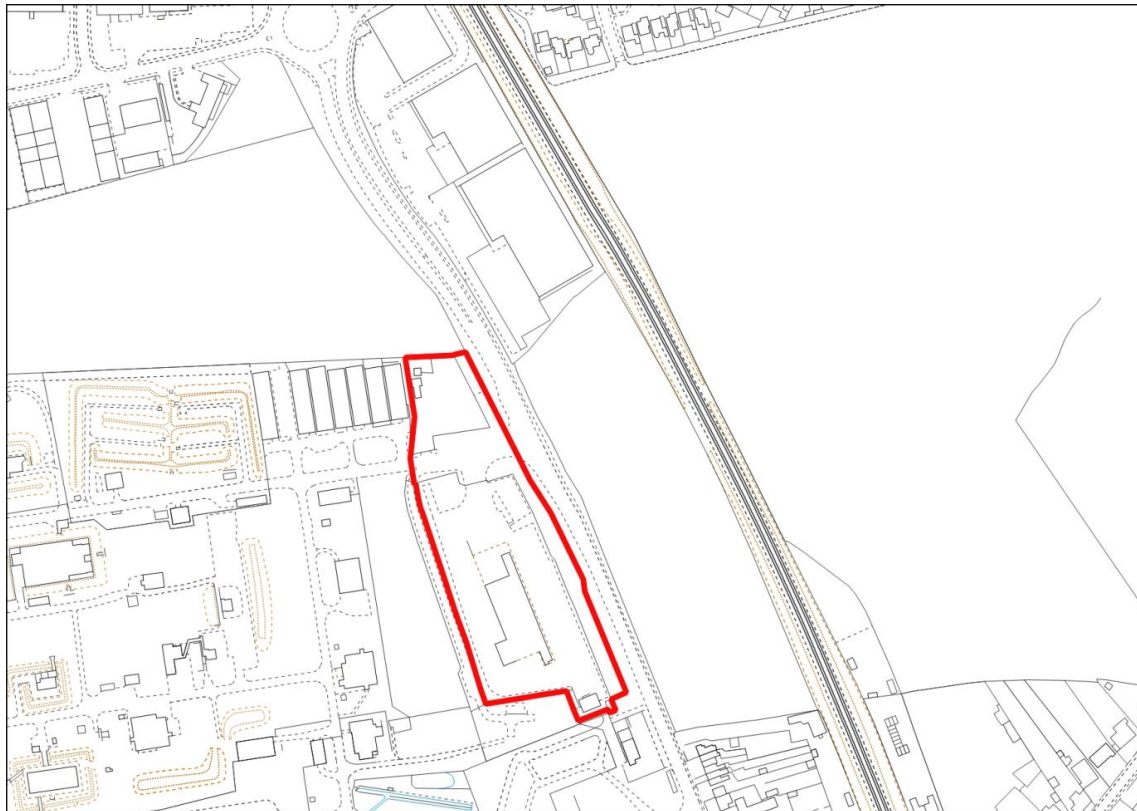
WSM38010 is Controlled by a weir at its northern end. Hoo Brook also empties into this sluice. Route of a former sluice bypassing Rolling Mill, shown on a map of 1927. Northern end running through the site is no longer visible; an Industrial Estate is on this site. Southern end is still joined by the Hoo Brook. Mill dates to 1791 presumably this channel was also built around this time. Technically the channel for the sluice is the "leat". Low historic significance, negligible aesthetic, communal and evidential value.

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Excavations for new foundations may reveal evidence of the leat and there is potential for palaeo-environmental remains.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation Possible.</p> <p>In terms of mitigating impact on below ground palaeo-environmental remains there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Potential for archaeology: Site will require a desk based archaeological assessment to identify the potential for archaeology (including palaeo-environmental deposits) and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: FPH/29

Site Name:  
VOSA WORCESTER ROAD

Employment



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Undesignated Heritage Asset on Worcestershire HER

Conjectural Route of WSM30280 Godham Way - used to describe boundaries of Ombersley Forest (1229 AD) and Feckenham Forest (1300 AD)

c) What is the proximity?

Passes through or close to site

2a) What is the significance of the heritage assets?

Post-Roman route. May have high potential historic significance but negligible aesthetic, communal and evidential values.

b) Will the proposed development have any impact on the significance? Please explain.

No known built heritage assets on site therefore the historic environment potential of the site is unknown.

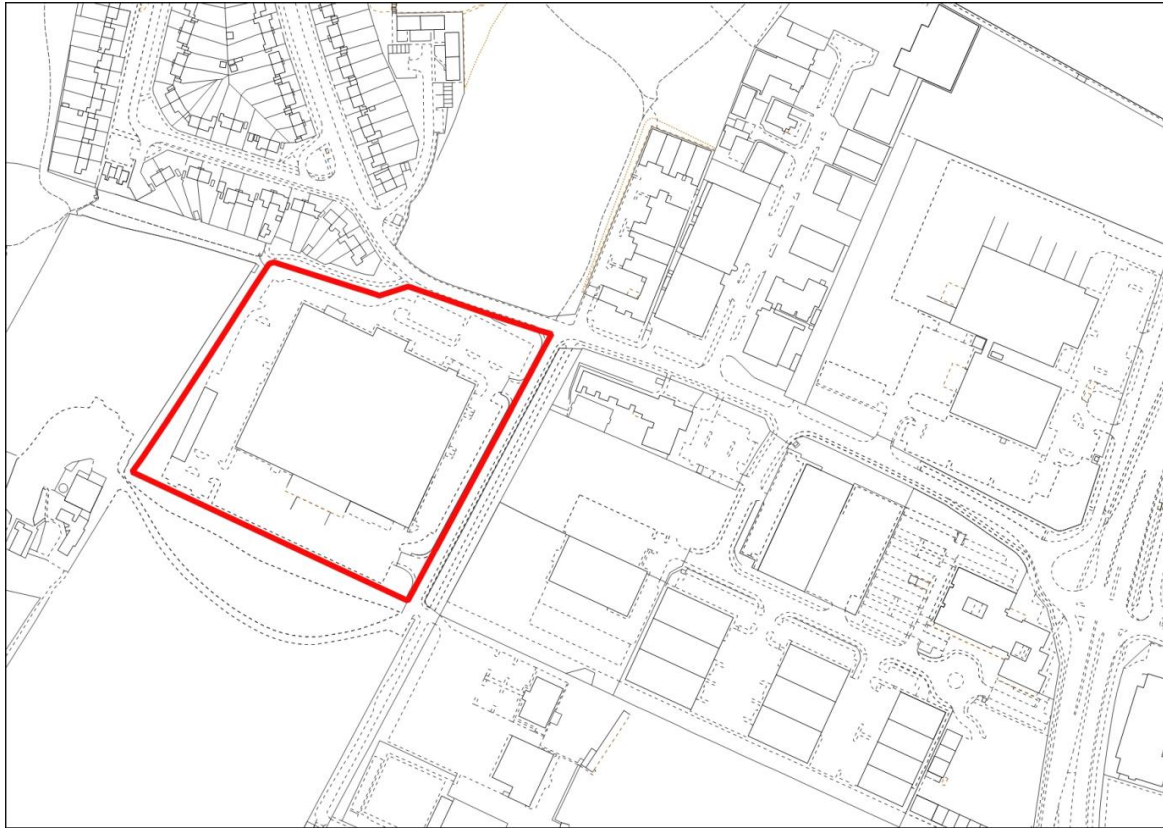
3a) Are there mitigation measures that could overcome the impact/harm?

Yes. Mitigation possible.

<p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: LI/1	Site Name: ZORTECH AVENUE (CERAMASPEED)	Employment
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes</p> <p>Undesignated Heritage Asset included on Worcestershire HER ref: WSM61609 and WSM53959 – Birchen Coppice Farm (golf centre).</p> <p>The above undesignated heritage assets lie approximately 50m to the south west of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Worcestershire HER entries record WSM61609 Landscape and WSM53959 Buildings as a 19<sup>th</sup> century farmstead which is also included in Worcestershire Historic Farmsteads Characterisation Project Ref WSM43249.</p> <p>It is recorded as a partially extant 19<sup>th</sup> century unlisted farmstead with converted buildings arranged around a loose courtyard</p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>with L Plan range plus detached buildings to the fourth side of the yard. Prominent L-plan regular courtyard in association, with four sides of the courtyard formed by working agricultural buildings, and detached elements to the main plan. The farmhouse is attached to the agricultural range. There has been significant loss (greater than 50%) of traditional buildings. Isolated location. It was formerly the golf club house but since closure of the club has become derelict.</p> <p>The farmstead has low historic and aesthetic value and negligible evidential and communal value. It is thus of low significance.</p> <p>It is unlikely that development on the site will impact directly on the significance of the remaining farmstead buildings owing to the distance between them and the site.</p> <p>The site has been built on previously and thus archaeological remains are likely to have been disturbed previously, however.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on below ground archaeology there will be a requirement for a desk-based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>

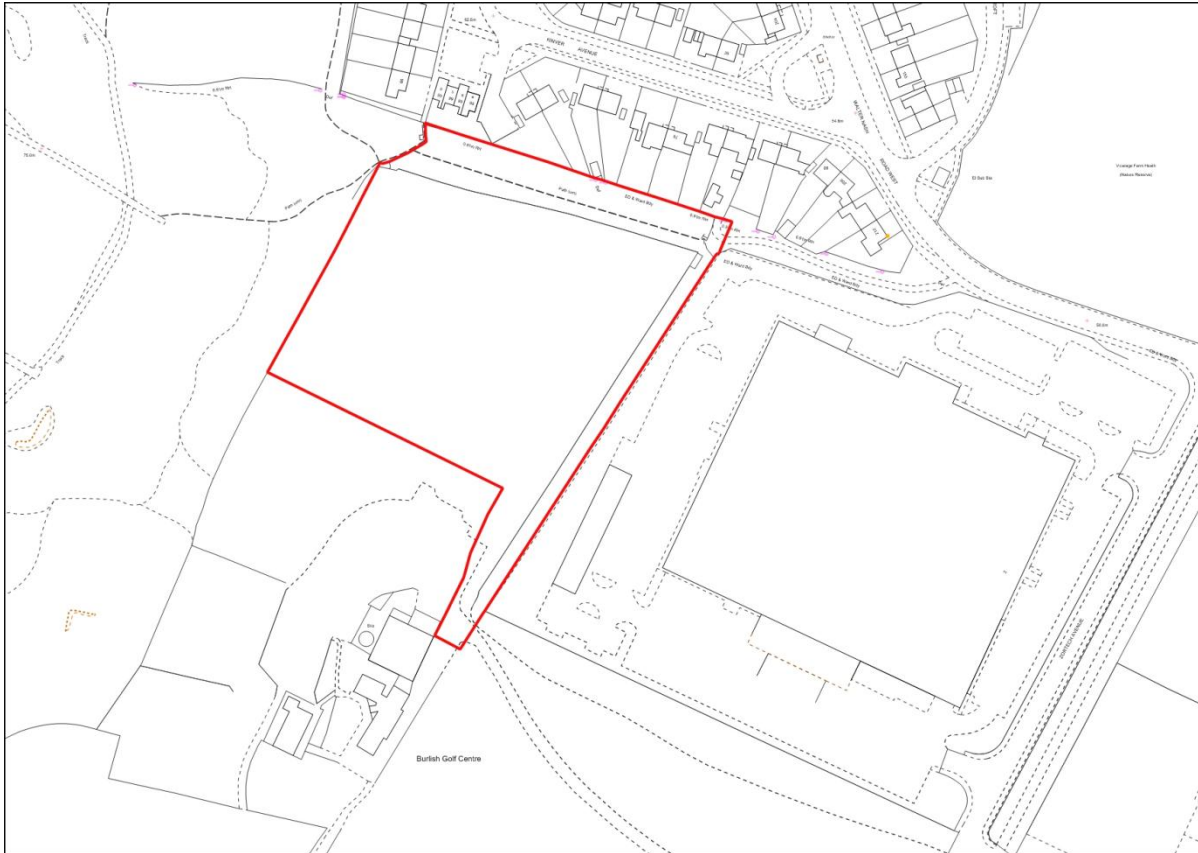


<p>5) What further work is required?</p>	<p>Unknown potential for archaeology:  Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: LI/10  
Revised 02/07/2019

Site Name:  
LAND AT REAR OF  
ZORTECH AVENUE

Employment



Crown Copyright 100018317

1 a) Is the site in proximity to  
Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

Yes.

Undesignated Heritage Assets included on  
Worcestershire HER:

WSM61609 and WSM53959 – Birchen  
Coppice Farm (golf centre).

WSM17206 Site of Burlish Camp

WSM53959 lies approximately 50m to the  
south west of the site.

WSM17206 lies approximately 100m to the  
west of the site.

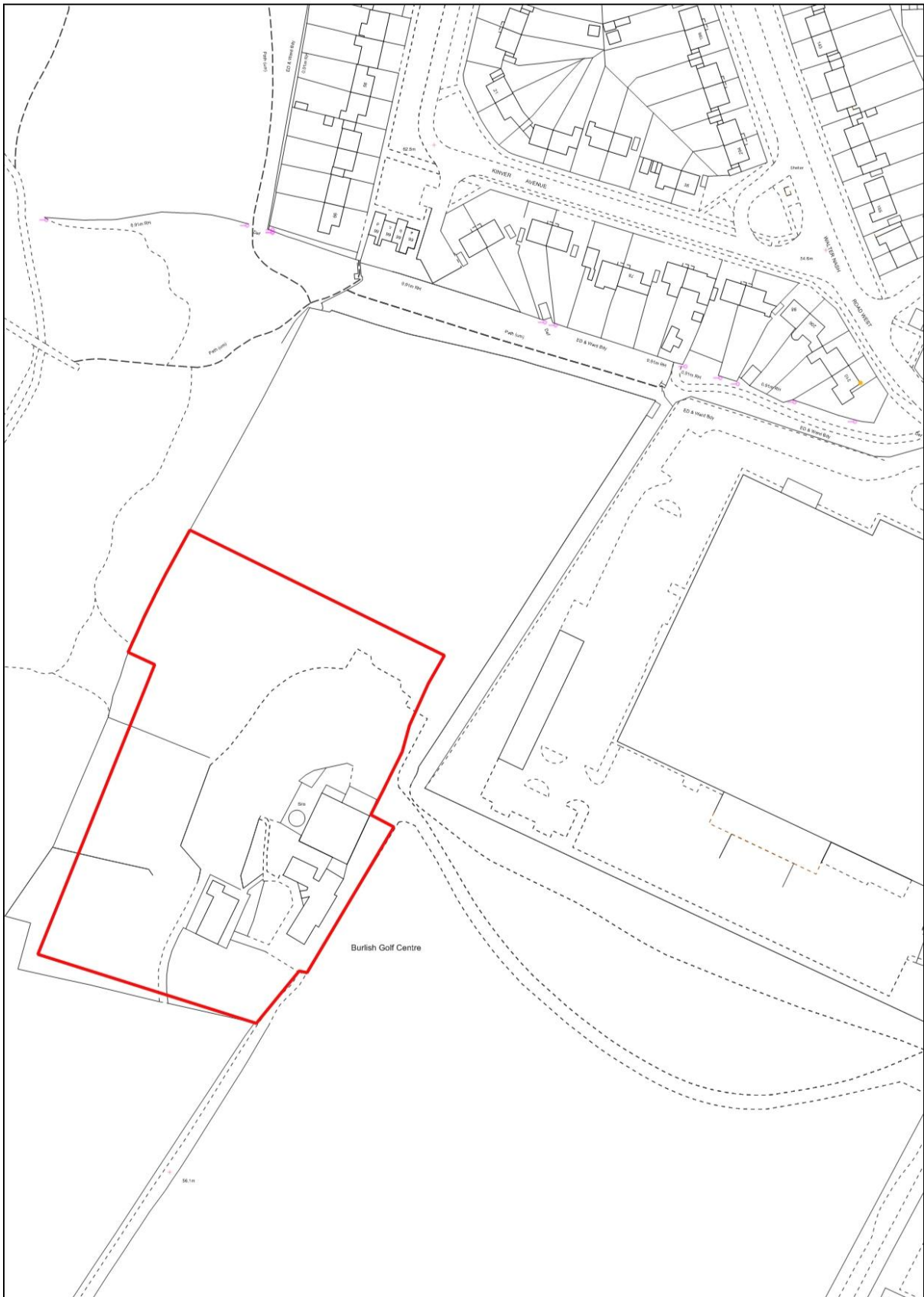


<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>will be required by an appropriate professional. Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?  b) If yes, explain further  c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.  Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: LI/12  
Revised 02/07/2019

Site Name:  
Former Burlish Golf  
Course

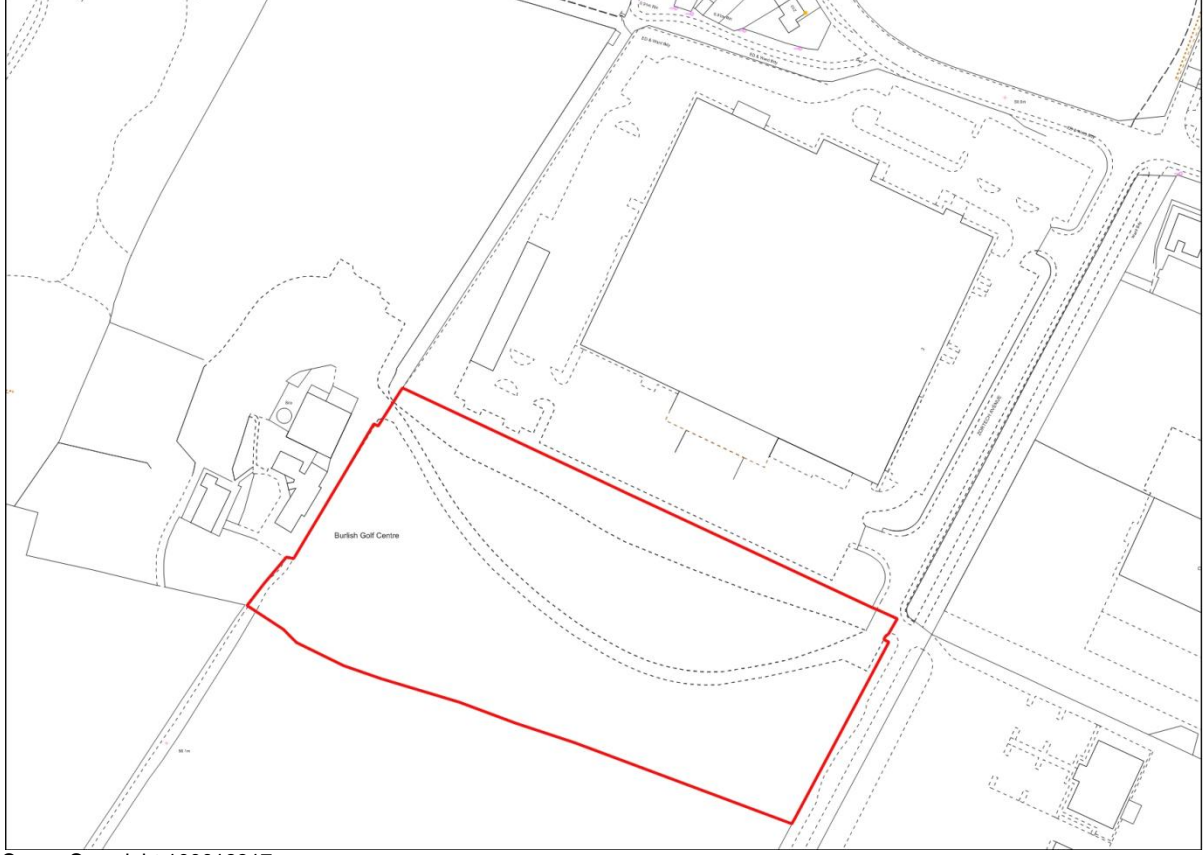
Travelling Showpeople



Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Undesignated Heritage Assets included on Worcestershire HER:</p> <p>WSM61609 and WSM53959 – Birchen Coppice Farm (former golf centre).</p> <p>WSM17206 Site of Burlish Camp</p> <p>WSM53959 lies approximately within the site boundary.</p> <p>WSM17206 lies approximately 100m to the west of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Worcestershire HER entries record WSM61609 Landscape and WSM53959 Buildings as a 19<sup>th</sup> century farmstead which is also included in Worcestershire Historic Farmsteads Characterisation Project Ref WSM43249.</p> <p>It is recorded as a partially extant 19<sup>th</sup> century unlisted farmstead with converted buildings arranged around a loose courtyard with L Plan range plus detached buildings to the fourth side of the yard. Prominent L-plan regular courtyard in association, with four sides of the courtyard formed by working agricultural buildings, and detached elements to the main plan. The farmhouse is attached to the agricultural range. There has been significant loss (greater than 50%) of traditional buildings. Isolated location. It was formerly the golf club house but since closure of the club has become derelict.</p> <p>The farmstead has low historic and aesthetic value and negligible evidential and communal value. It is thus of low significance.</p> <p>WSM17206 said to have been originally used as a holiday camp. Later as a hospital for returning wounded. Originally concrete prefabricated timber buildings connected by concrete roadways. Now demolished. This was the 297th General Hospital for the US Army in WW2.</p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>The camp has medium historic value, low aesthetic, evidential and communal values and is thus of low significance. It likely that development on the site will impact directly on the significance of the undesignated heritage assets owing to the fact that they have been partially destroyed by fire and may be demolished.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>Building recording of the surviving remains of the burnt-out buildings prior to demolition,</p> <p>In terms of mitigating impact on below ground archaeology there will be a requirement for a desk-based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes, interpretation to illustrate former use of site.</p> <p>Site allocations policy to reflect mitigation and enhancement measures.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: LI/13 Revised 02/07/2019	Site Name: Land off Zortech Avenue	Employment
		
Crown Copyright 100018317		
<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Undesignated Heritage Assets included on Worcestershire HER:</p> <p>WSM61609 and WSM53959 – Birchen Coppice Farm (former golf centre).</p> <p>WSM17206 Site of Burlish Camp</p> <p>WSM53959 lies approximately 10m west of the site boundary.</p> <p>WSM17206 lies approximately 150m to the west of the site.</p>	
<p>2a) What is the significance of the heritage assets?</p>	<p>Worcestershire HER entries record WSM61609 Landscape and WSM53959 Buildings as a 19<sup>th</sup> century farmstead which is also included in Worcestershire Historic</p>	



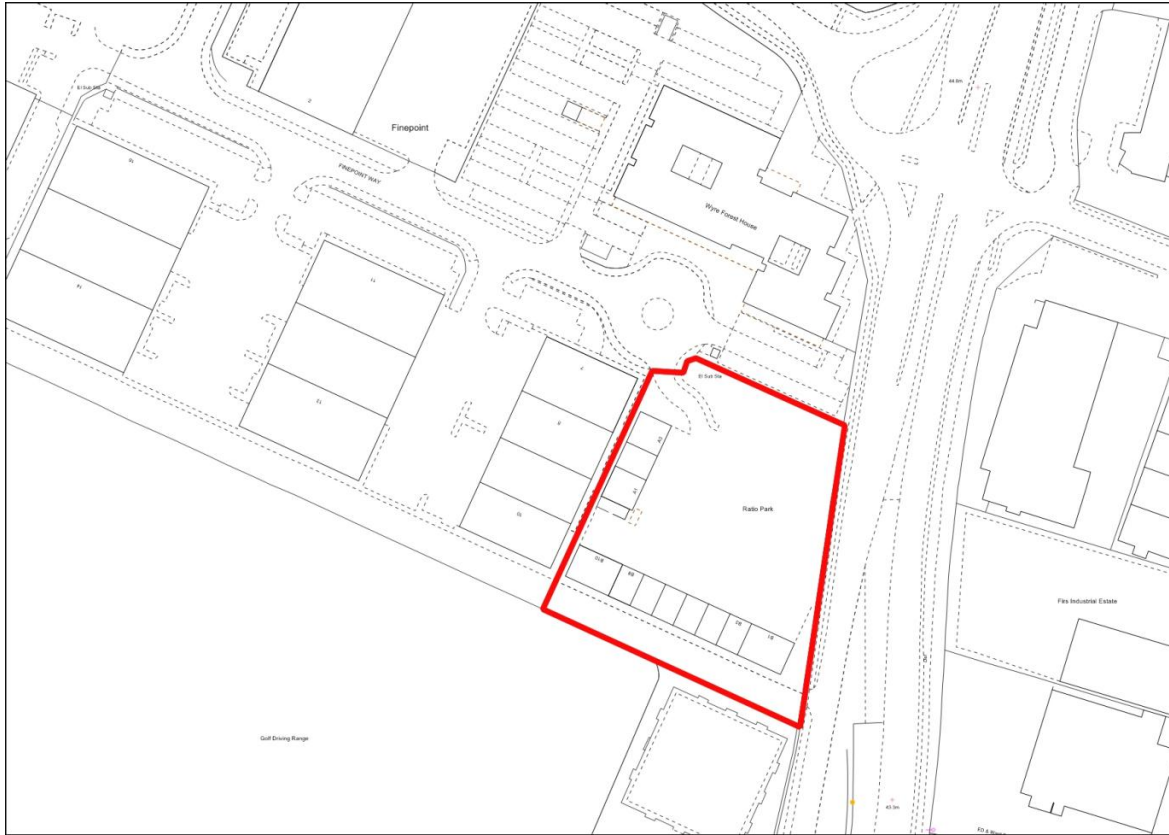
<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Farmsteads Characterisation Project Ref WSM43249.</p> <p>It is recorded as a partially extant 19<sup>th</sup> century unlisted farmstead with converted buildings arranged around a loose courtyard with L Plan range plus detached buildings to the fourth side of the yard. Prominent L-plan regular courtyard in association, with four sides of the courtyard formed by working agricultural buildings, and detached elements to the main plan. The farmhouse is attached to the agricultural range. There has been significant loss (greater than 50%) of traditional buildings. Isolated location. It was formerly the golf club house but since closure of the club has become derelict.</p> <p>The farmstead has low historic and aesthetic value and negligible evidential and communal value. It is thus of low significance.</p> <p>WSM17206 said to have been originally used as a holiday camp. Later as a hospital for returning wounded. Originally concrete prefabricated timber buildings connected by concrete roadways. Now demolished. This was the 297th General Hospital for the US Army in WW2.</p> <p>The camp has medium historic value, low aesthetic, evidential and communal values and is thus of low significance.</p> <p>It unlikely that development on this site will impact directly on the significance of the undesignated heritage assets as they are not contained within this site.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>No.</p> <p>Not applicable.</p>

c) If mitigation is not possible, are there benefits that justify the development?	Not applicable.
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
5) What further work is required?	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: MI/26

Site Name:  
RATIO PARK

Employment



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

None known.

2a) What is the significance of the heritage assets?

b) Will the proposed development have any impact on the significance? Please explain.

Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.

No known built heritage assets on site therefore the historic environment potential of the site is unknown.

3a) Are there mitigation measures that could overcome the impact/harm?

b) If yes, explain further including how mitigation could be achieved through the local plan

Yes. Mitigation possible.

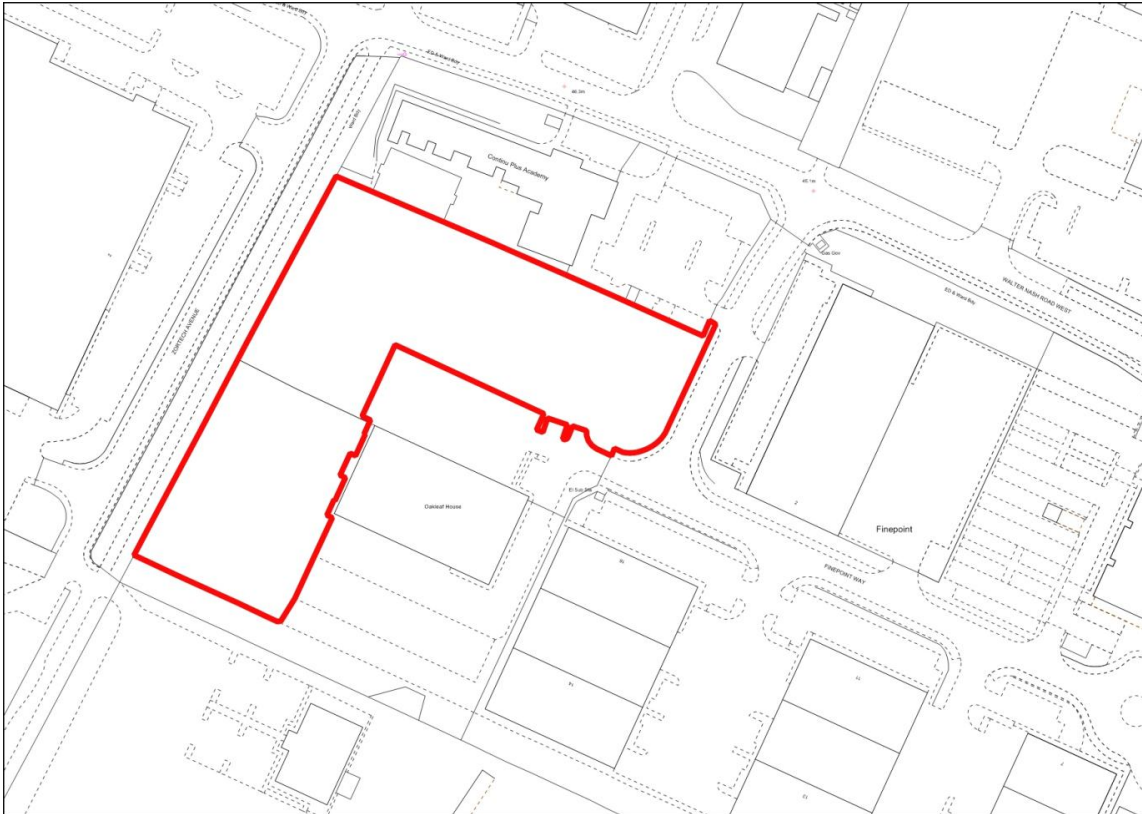
No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: MI/34

Site Name:  
OAKLEAF FINEPOINT

Employment



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

None known.

2a) What is the significance of the heritage assets?

b) Will the proposed development have any impact on the significance? Please explain.

Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.

No known built heritage assets on site therefore the historic environment potential of the site is unknown.

3a) Are there mitigation measures that could overcome the impact/harm?

b) If yes, explain further including how mitigation could be achieved through the local plan

Yes. Mitigation possible.

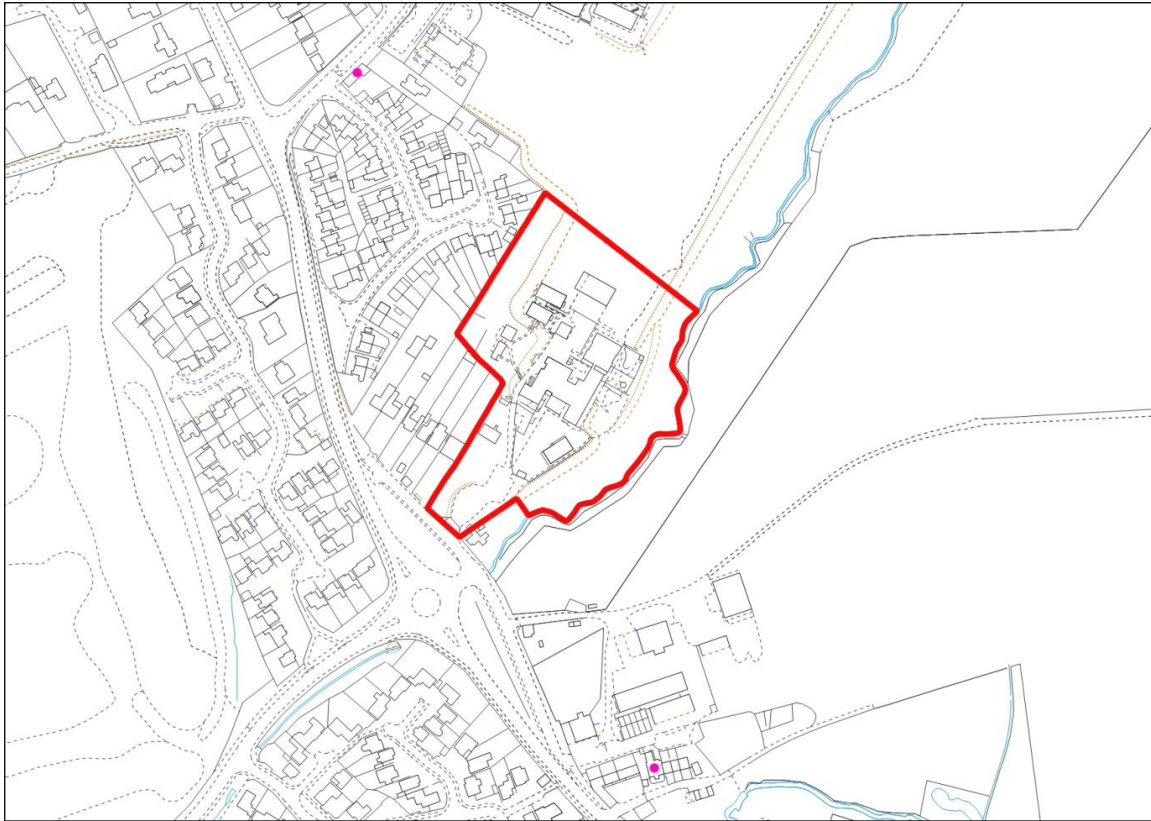
No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: a sluice is marked within the site on the Ordnance Survey Maps of 1884 to 1939 when the site was a sewage farm.</p> <p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: OC/11

Site Name:  
STOURMINSTER SCHOOL

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

None known.

Potential for paleoenvironmental deposits in adjacent watercourse.

N/A

2a) What is the significance of the heritage assets?

b) Will the proposed development have any impact on the significance? Please explain.

Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.

No known built heritage assets on site therefore the historic environment potential of the site is unknown.

3a) Are there mitigation measures that could overcome the impact/harm?

b) If yes, explain further including how mitigation could be achieved through the local plan

Yes. Mitigation possible.

No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for palaeo-environmental deposits in the watercourse running along the eastern boundary, and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the under-standing of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



## Appendix A3

### Heritage Impact Assessments for site allocations included within the Wyre Forest District Council Local Plan Pre-Submission Publication October 2018

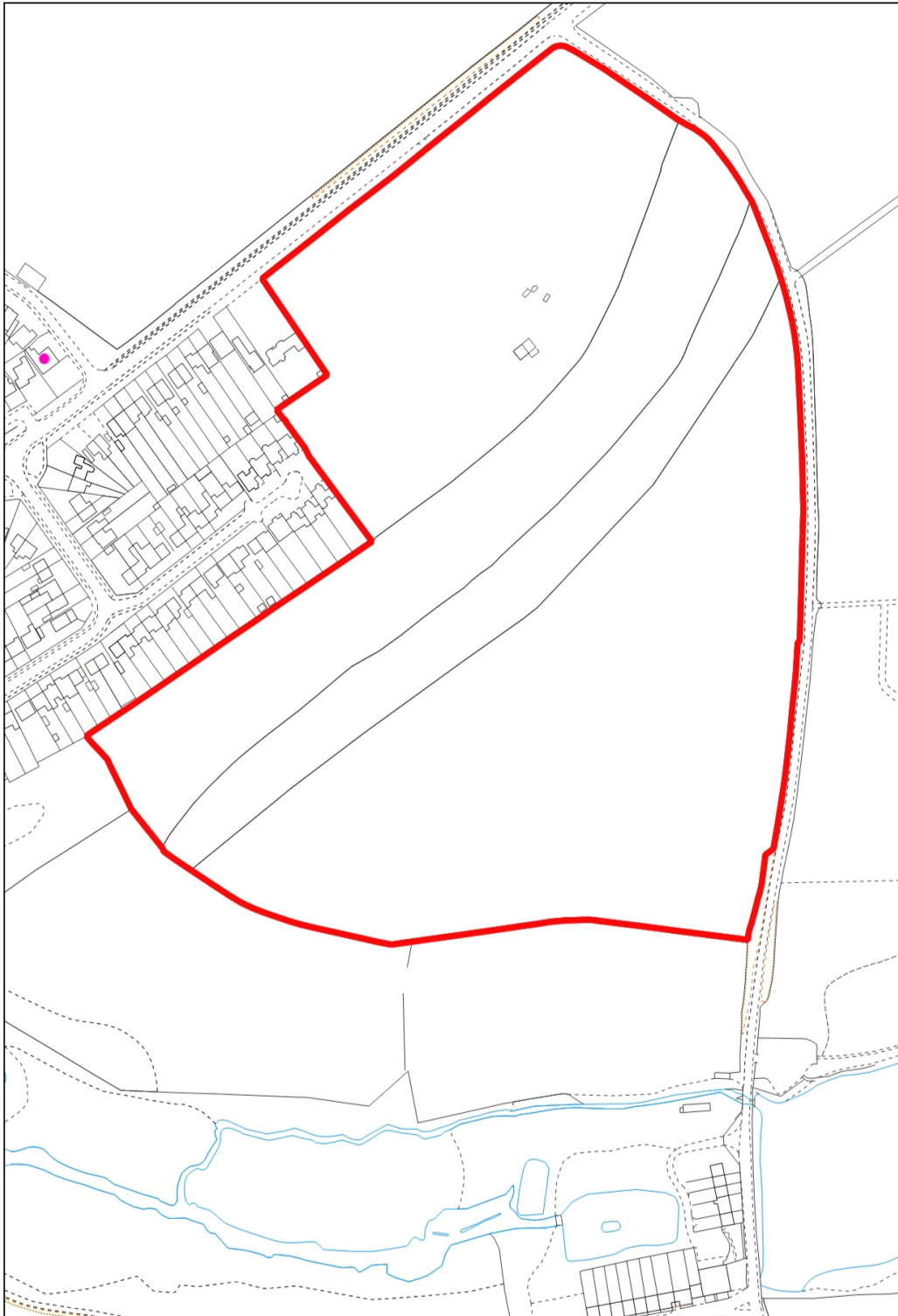
#### Kidderminster North

HELAA REF	LOCATION	SOURCE	SIZE (HA)	HOUSING CAPACITY	Bfd/Gfd/GB	Type of land use
BW/4	Stourbridge Road ADR	PO	13.9	91	Gfd	Housing on 3.61Ha with green gap on southern section
WA/KF/3	Land at Low Habberley Phase 1	PO		120	Gfd	Housing
WFR/WC/10	Kimberlee Avenue ADR	PO	1.2	30	Gfd	Reserved Housing Site
WFR/WC/12	Lawnswood Cookley	HELAA	0.78	23	GB	Reserved Housing Site
WFR/WC/15	Lea Castle Hospital	PO	48.51	600	GB/bfd	Housing and community uses
WFR/WC/18	Sion Hill School	PO	2.1	56	GB/bfd	Housing
WFR/WC/22	Lowe Lane Fairfield ADR	LPRPO & PO	0.87	26	Gfd	Reserved Housing Site
WFR/WC/23	Hayes Road ADR	LPRPO & PO	1.16	14	Gfd	Reserved Housing Site
WFR/WC/32	Lea Castle East A451		18.6	300	GB	Housing and employment
WFR/WC/33	Lea Castle West A449	LPRPO	24.16	400	GB	Housing and community uses
WFR/WC/34	Lea Castle North Axborough Lane	other	11.12	100	GB	Housing
WFR/WC/36	Rock Tavern car park Caunsall	LPRPO	0.11	3	GB/bfd	Housing
WFR/WC/37	Land at Caunsall Road	LPRPO	0.84	4	GB	Housing

Site Ref: BW/4

Site Name:  
STOURBRIDGE ROAD ADR

Housing on 3.61Ha with  
green gap on southern  
section



Crown Copyright 100018317

1 a) Is the site in proximity to  
Heritage assets?

Yes.

If yes,

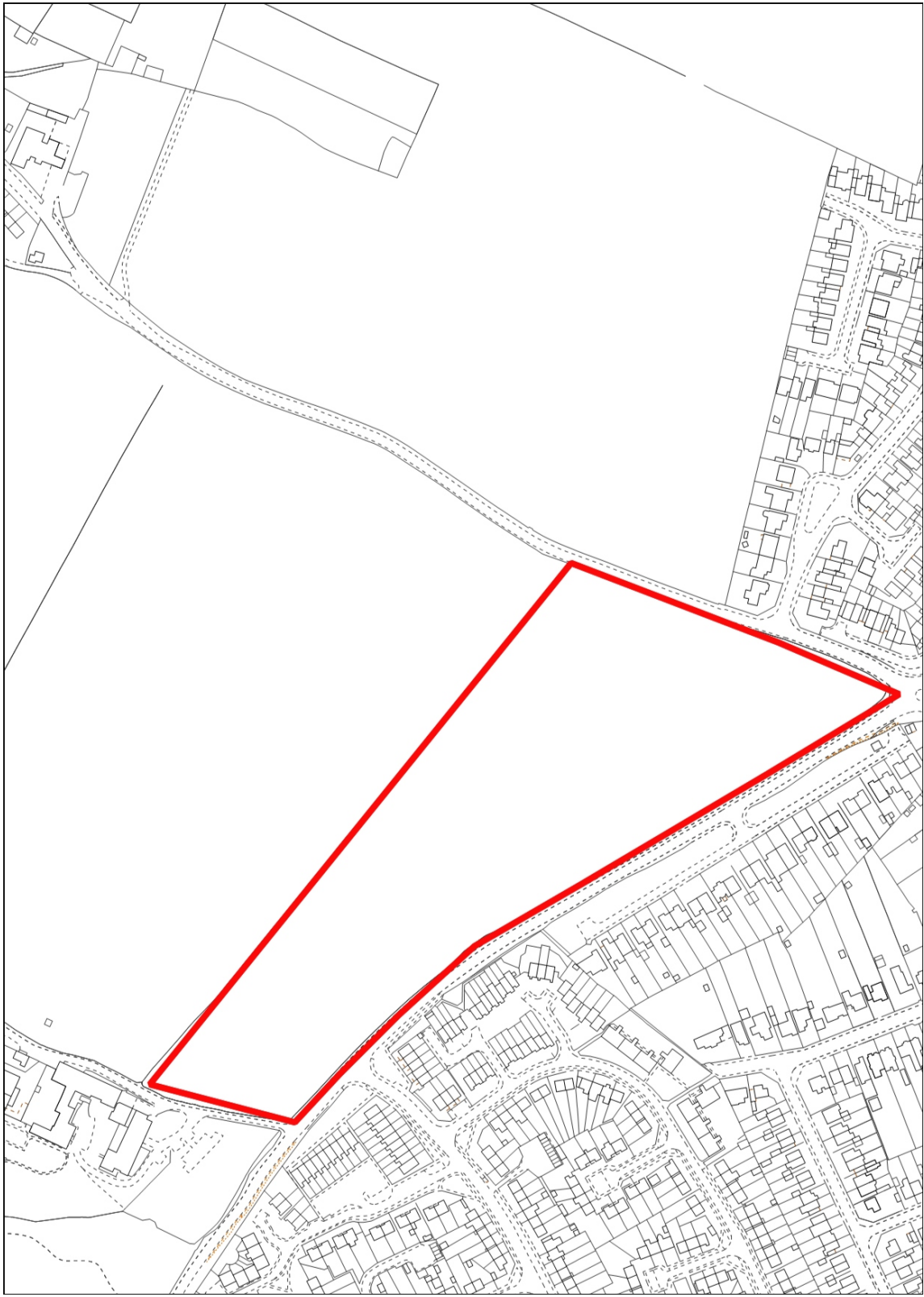
<p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>No known heritage assets on the site but area of palaeo-environmental interest to the south.</p> <p>Undesignated heritage asset included on the Worcestershire HER:</p> <p>WSM12923: Brickfield Broadwaters (name only).</p> <p>WSM51479: Site of outfarm north of Hurcott Mill.</p> <p>WSM08170: Hurcott Mill.</p> <p>WSM51479: outfarm was approximately 80m to south of site.</p> <p>WSM08170: Mill is 200m south of site.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Distant from historic core of any known historic settlement therefore low potential for below ground archaeology on the site thus overall significance of the site is low.</p> <p>WSM51479: No legible above ground remains thus significance negligible.</p> <p>WSM08170: Hurcott Mill was in operation as a paper mill in 1832 and the associated pool has existed in its present form since 1822. The mill was destroyed by fire in 1974 and rebuilt as flats. It forms the principal building within the village of Hurcott. It has medium aesthetic and historic value, low communal and evidential value. Overall significance is medium/low.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p> <p>The southern part of the site is a sensitive landscape setting for Hurcott Village, Mill and Pool above which it is situated to the north.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will</p>

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Retention of dense tree screening to the north of Hurcott Mill and pool will be essential to retain the historic character of the village and the setting of the mill.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and palaeo-environmental interest and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WA/KF/3

Site Name:  
LAND AT LOW  
HABBERLEY PHASE 1

Housing



Crown Copyright 100018317



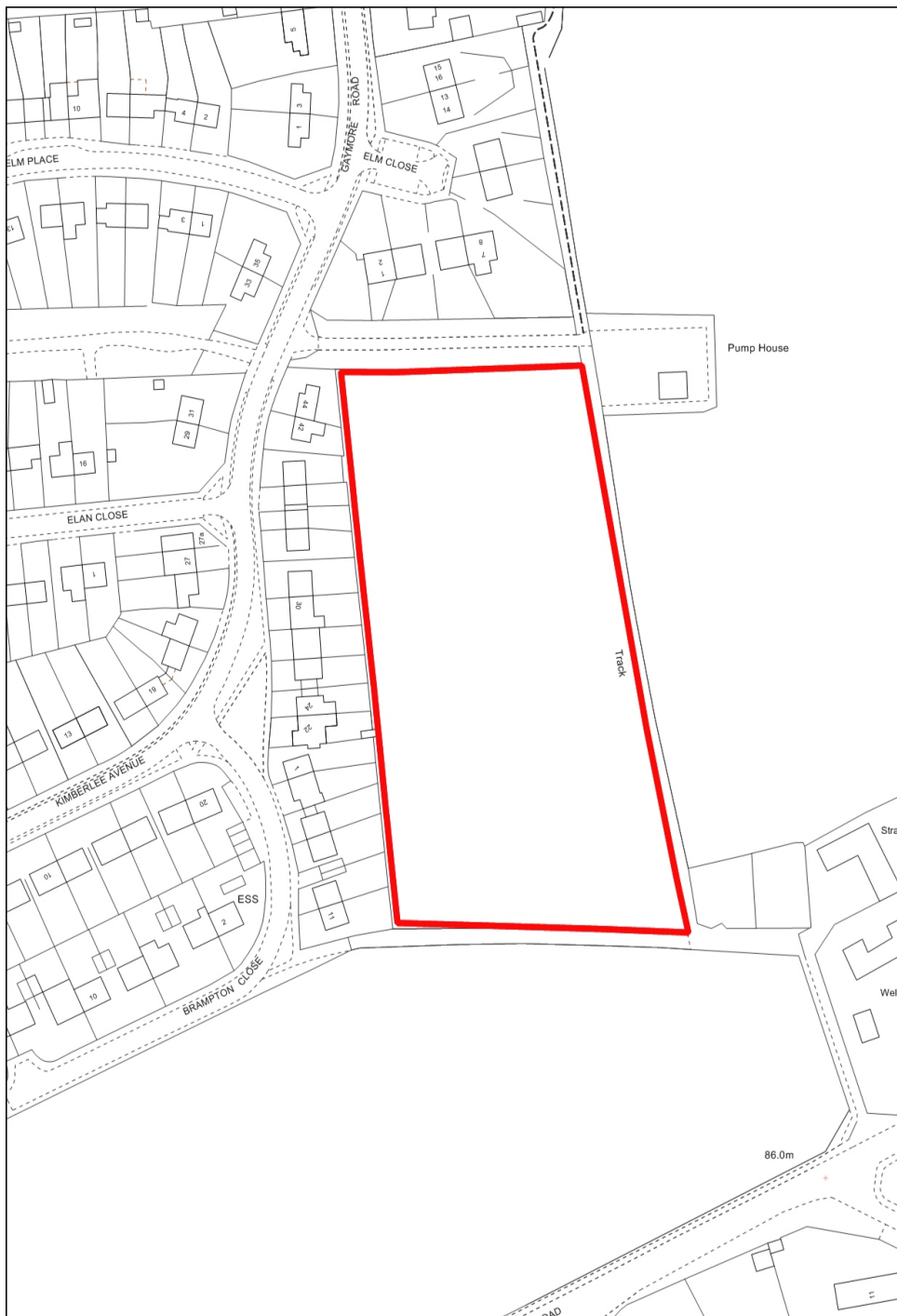
<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>the core of an historic farmstead.</p> <p>Fountain Court WSM31330 has limited historic, communal and aesthetic values, low overall significance.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>The setting of High Habberley House should be buffered with a lower density of development focused on the lower, northern, part of the field and of low; enhancement of hedgerows and visual softening to the west.</p> <p>Site allocations policy to reflect the above.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: WFR/WC/10

Site Name:  
KIMBERLEE AVENUE  
COOKLEY -ADR

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to  
Heritage assets?

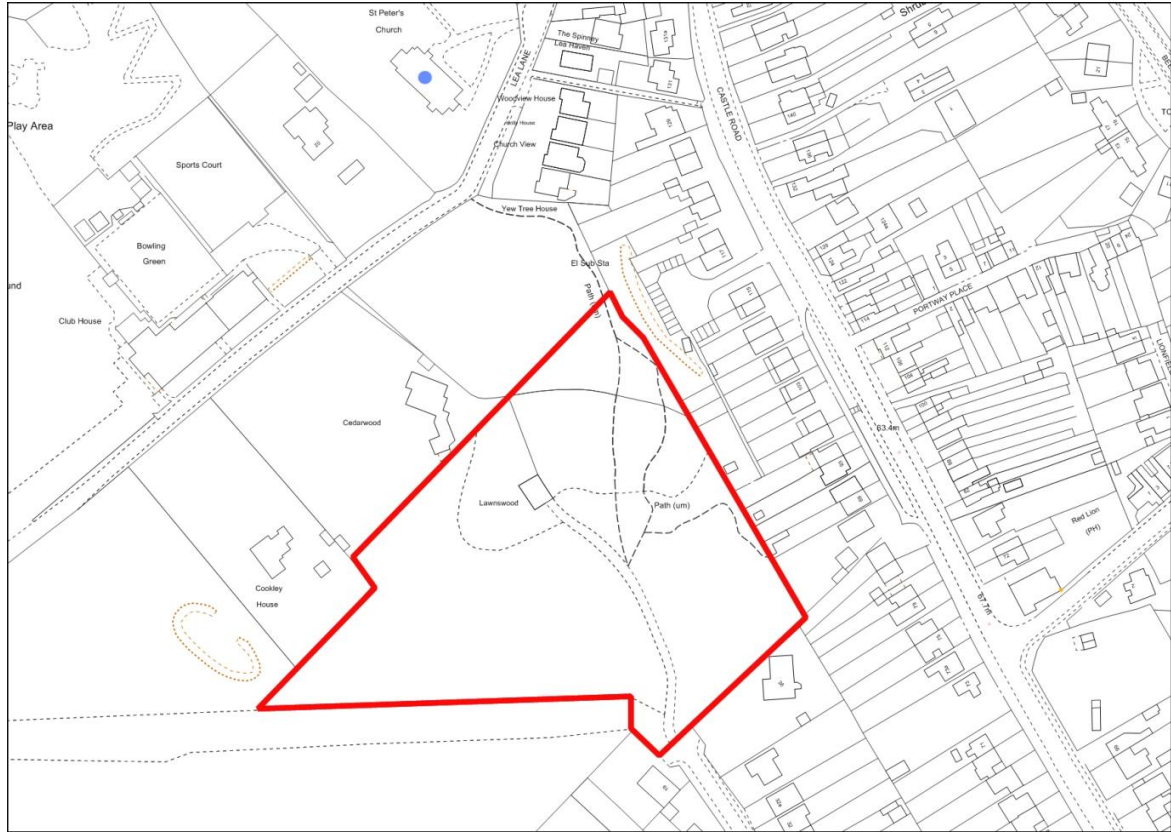
If yes,

b) What type of heritage asset?

None known.

c) What is the proximity?	
2a) What is the significance of the heritage assets?  b) Will the proposed development have any impact on the significance? Please explain.	Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.  No known built heritage assets on site therefore the historic environment potential of the site is unknown.
3a) Are there mitigation measures that could overcome the impact/harm?  b) If yes, explain further including how mitigation could be achieved through the local plan  c) If mitigation is not possible, are there benefits that justify the development?	Yes. Mitigation possible.  No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.  Not applicable.
4a) Are there any opportunities for development to enhance an asset or better reveal its significance?  b) If yes, explain further  c) Can the Local Plan be amended to achieve the enhancements?	No.  Not applicable.
5) What further work is required?	Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.

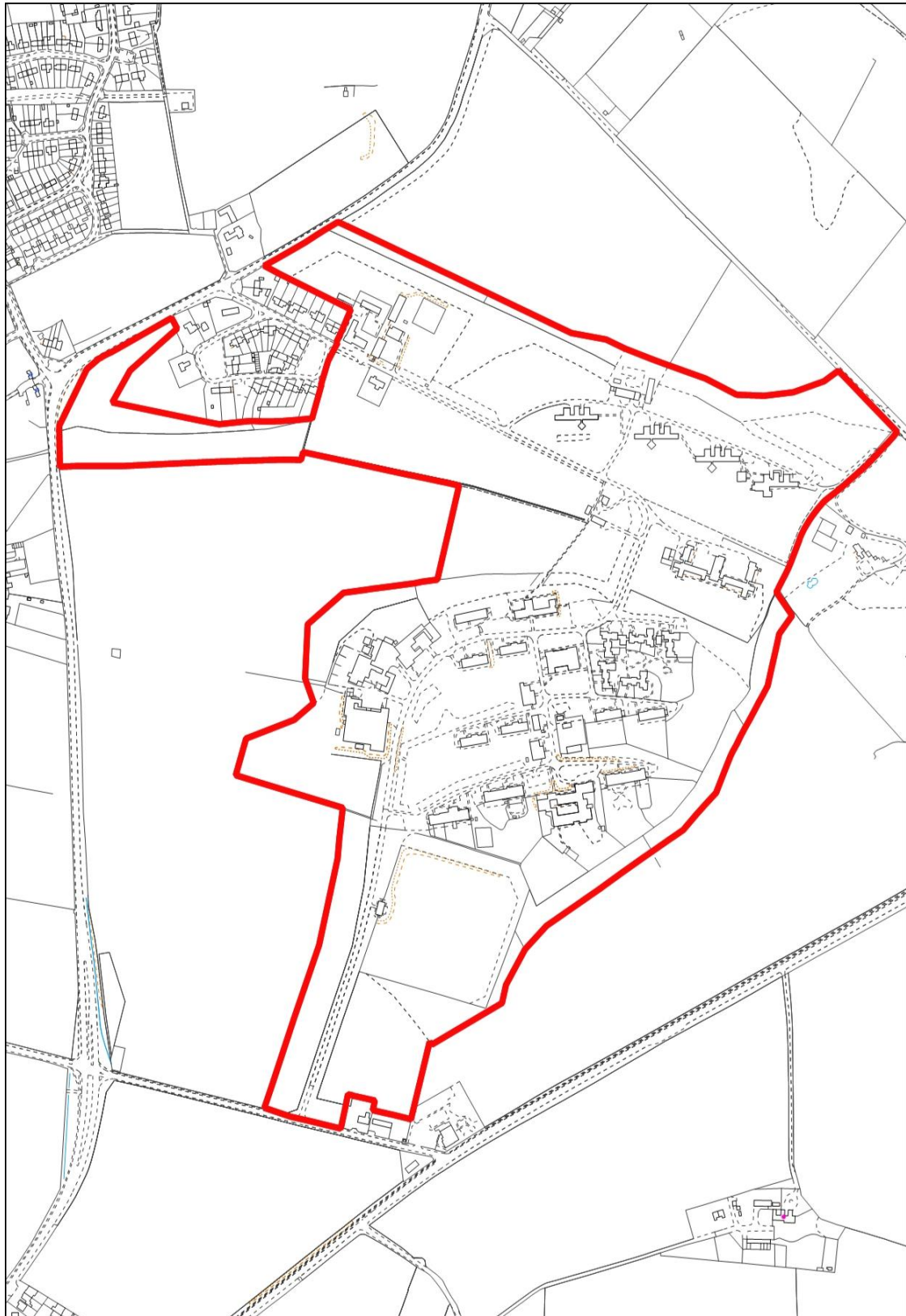
Site Ref: WFR/WC/12	Site Name: LAWNSWOOD WESTHEAD ROAD COOKLEY	Housing
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>No designated or undesignated historic assets recorded on the site.</p> <p>Designated heritage asset included on the National Heritage List for England:</p> <p>Church of St Peter NHLE1296557.</p> <p>Church of St Peter NHLE1296557 lies 100m NW of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>The site is located in an area historically associated with unenclosed heath land and therefore may have potential to contain flint scatters and other evidence of prehistoric archaeology.</p> <p>NHLE1296557 is a parish church built 1849 enlarged 1872, brick with stone dressings</p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>and west tower with crenellated parapet. Included for communal, historic and aesthetic(architectural) values, it is of medium significance.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p> <p>Development on the site which is on a hill opposite the church has potential to impact on the setting of NHLE1296557 and thus affect its significance.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>The northern corner of the site is heavily wooded. This should remain undeveloped as the woodland provides an effective visual screen to any development further south within the site and will serve to maintain the setting of NHLE1296557.</p> <p>Site allocation policy to reflect this.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>





<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>period. The significance is medium.</p> <p>WSM61772: Park Gate Cottage farmstead including barn is converted into residential units. Medium aesthetic value, low historic, communal and evidential value thus overall significance is low.</p> <p>Given the absence of any systematic archaeological investigation within the site, the absence of known remains dating to other periods, cannot be relied upon as an indication that no archaeological remains are present.</p> <p>As such the potential for the site to contain features and finds of other periods is considered to be unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>The development is likely to impact on the surviving WWII structures present on the site if their retention within the proposed scheme is not feasible, then recording in advance of their loss is recommended.</p> <p>The 20th century development of the Lea Castle site is likely to have impacted on below ground archaeological remains, in the vicinity of the hospital buildings. The area surrounding the hospital buildings has been largely undeveloped and as such has the potential to contain archaeological remains.</p> <p>No previous archaeological work has been carried out within the site, and little arch-archaeological evidence has been revealed by excavations within the surrounding area. The available evidence suggests that there is a potential for Bronze Age, Post medieval and Modern heritage assets within the site. Due to the lack of archaeological work and limited evidence from the study area the potential for archaeological remains, dating to other periods, within the site is relatively unknown.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>

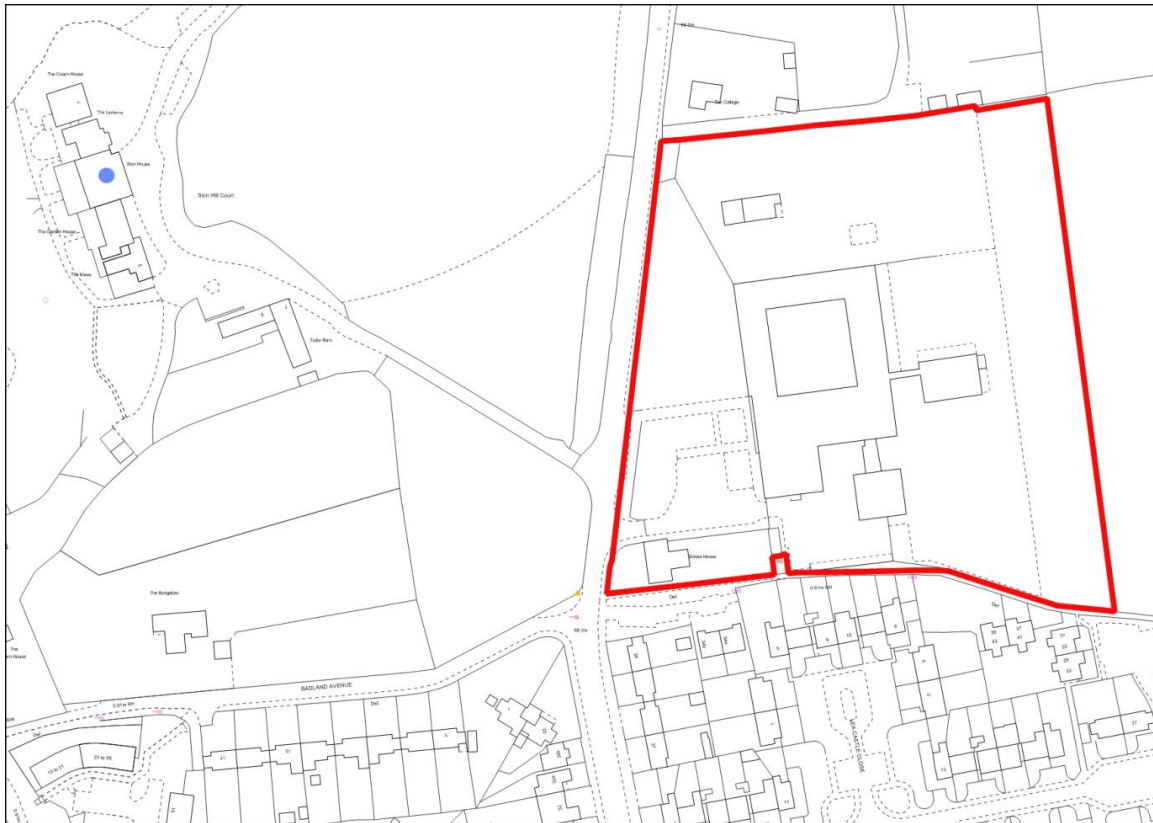




Site Ref: WFR/WC/18

Site Name:  
SION HILL SCHOOL

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

Yes.

Undesignated heritage asset on site included on the Worcestershire HER:

School; 1958-9 by Sir Frederick Gibberd. Concrete frame construction. Set around a quadrangle. Detached elevated water tower feature. WSM70337;

Designated heritage asset NHLE1100640 Sion Hill House Wolverley Grade II

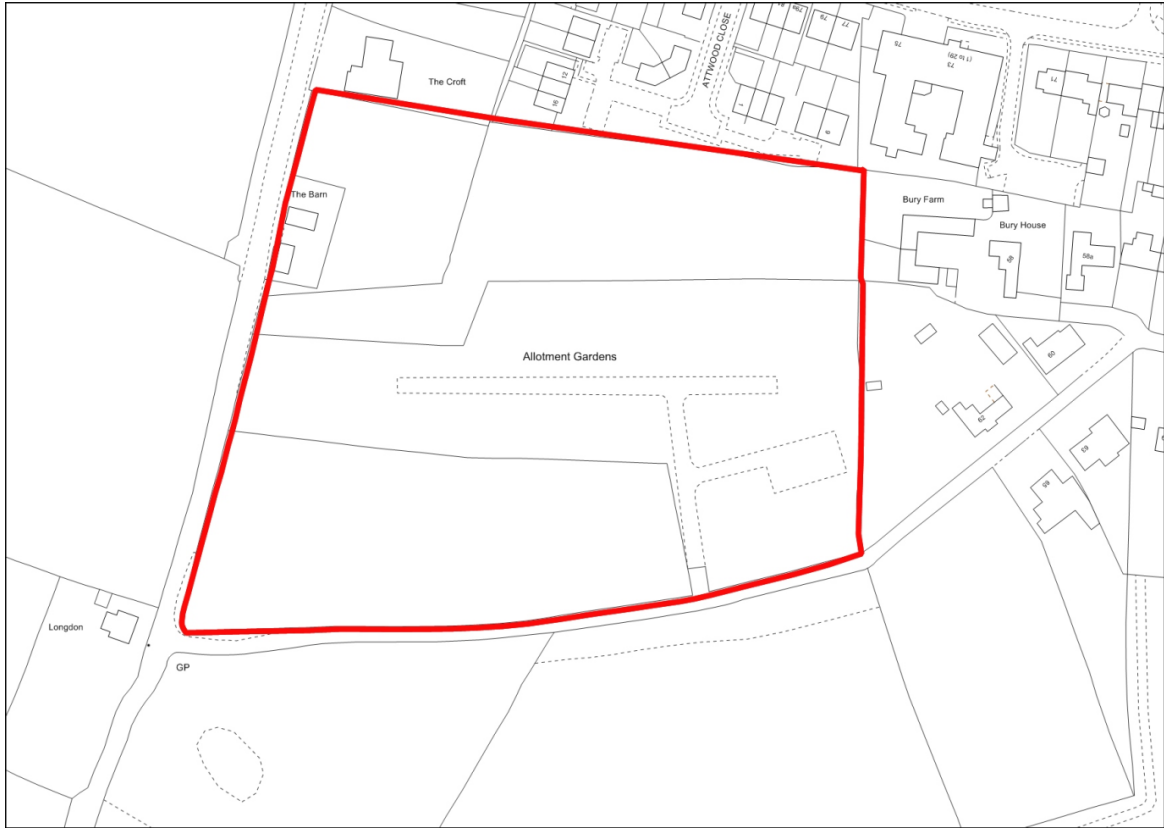
WSM70337 School buildings on site (partly demolished)

NHLE100640 – the nearest range of buildings is 100m to the west of the site.



<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for below ground archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WFR/WC/22	Site Name: LOWE LANE FAIRFIELD - ADR	Existing ADR
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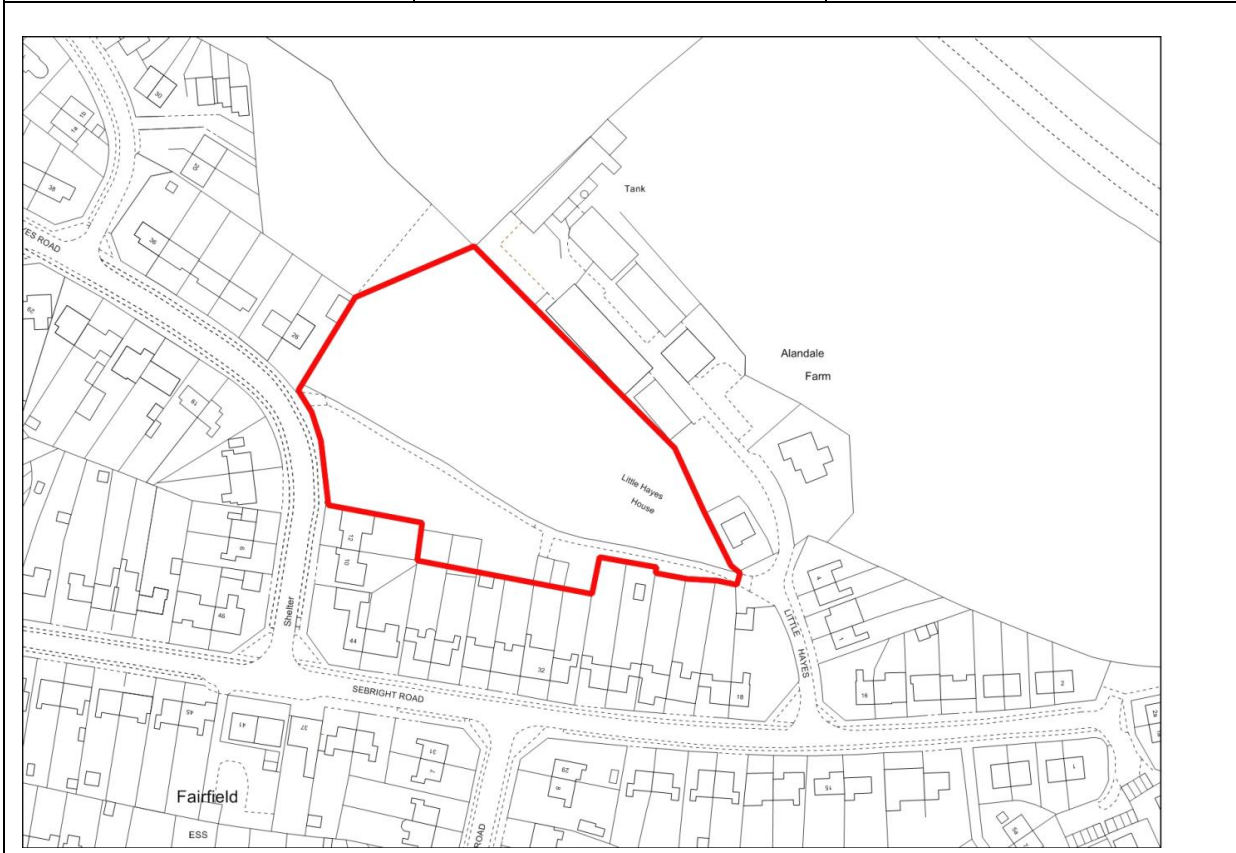
Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Undesignated heritage assets included on the Worcestershire HER:</p> <p>Outfarm west of Bury Farm Wolverley and Cookley WSM51437.</p> <p>Bury Farm WSM53930.</p> <p>WSM51437 is immediately adjacent to the west boundary of the site.</p> <p>WSM53930 lies 25m to the east of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>WSM51437 of 19<sup>th</sup> century origins has limited historic and aesthetic value, negligible evidential and communal value; overall significance of this residential conversion is low.</p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>WSM53930 of 18<sup>th</sup> century origins has some historic and aesthetic value and negligible evidential and communal value. Overall significance of this residential conversion is low.</p> <p>Development on this site will affect the setting of the heritage assets and reduce or remove inter-visibility between Bury Farm and the Out Farm.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>Design of development should take into account the location and orientation of the existing adjacent heritage assets, to maximise potential for maintaining inter-visibility. A green-infrastructure buffer around these sites could reduce the impact of neighbouring development.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Design layout of new development on the site to take into account adjacent heritage assets, their relationship and inter-visibility.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>

<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WFR/WC/23	Site Name: HAYES ROAD FAIRFIELD - ADR	Existing ADR
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>None known.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will</p>

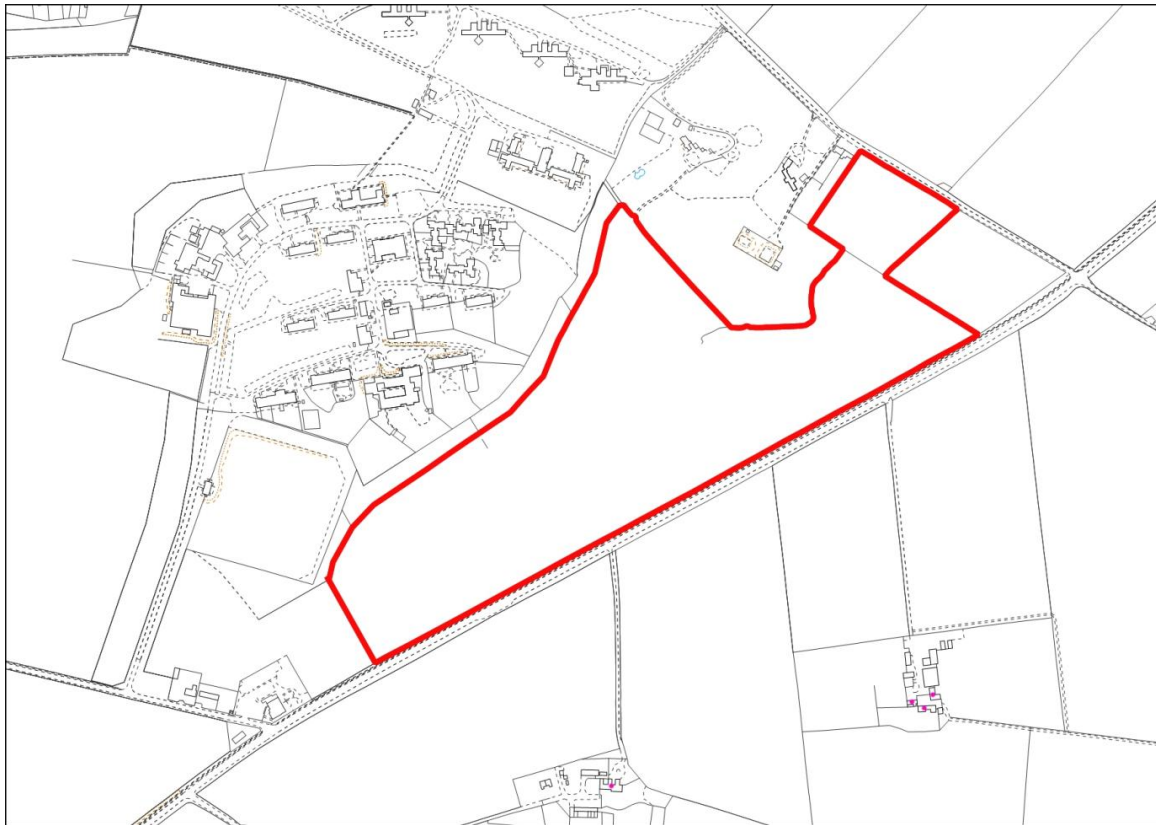
<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: WFR/WC/32

Site Name:  
LEA CASTLE EAST – A451

Housing and Employment



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

Yes.

Undesignated heritage assets included on the Worcestershire HER:

WSM54134: Wood House Farmhouse

WSM29854: Barn, Park Gate Road

WSM12249: Flint Artefact

Undesignated heritage asset identified by WFDC as part of the heritage evidence base:

Park Gate Public House Stourbridge Road

WSM54134 lies 250m SE of the site.

WSM29854 lies 250m SW of the site.

WSM12249: Artefact was found to the north of the Park Gate PH immediately to the



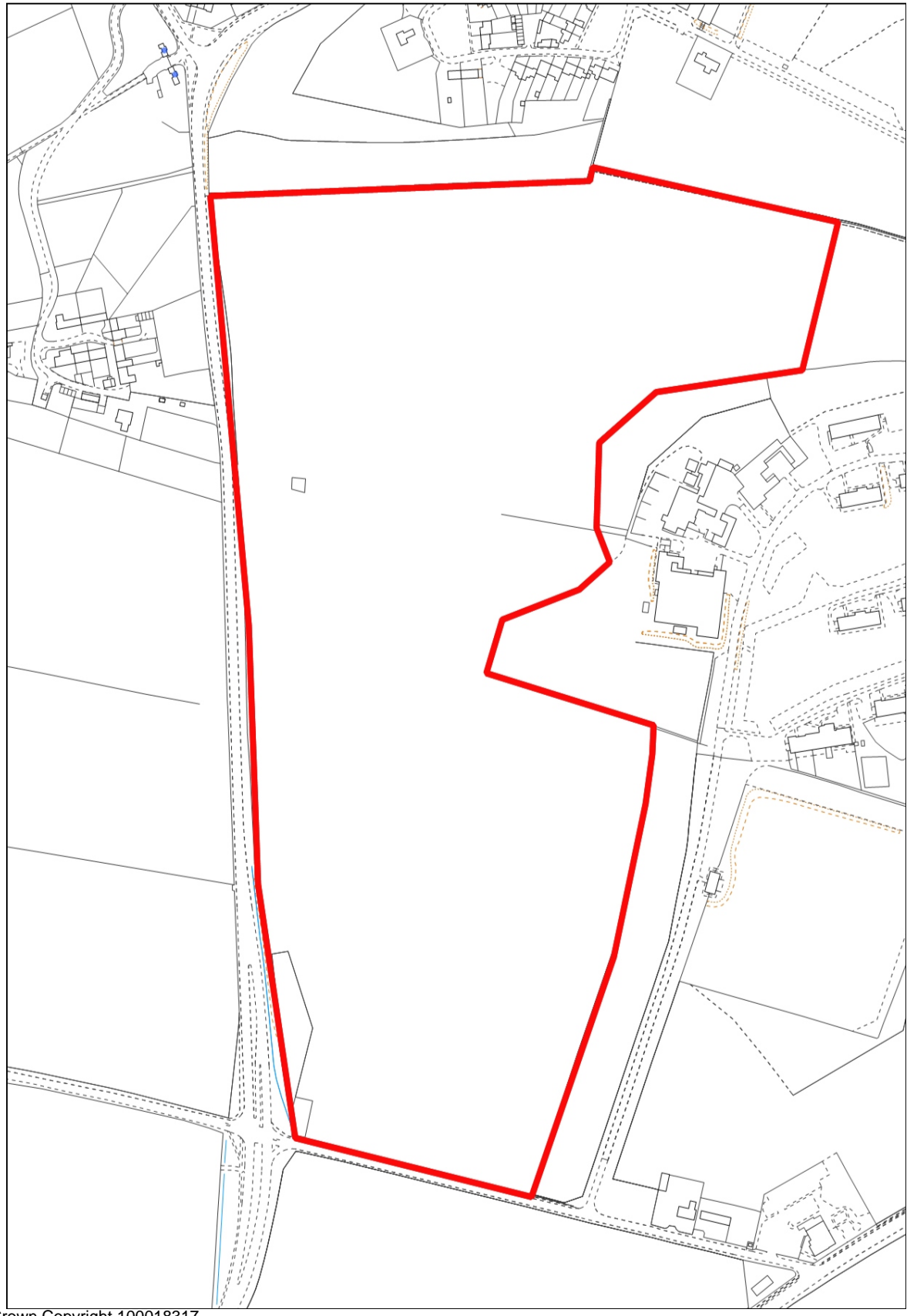
	<p>As such the potential for the site to contain features and finds of other periods is considered to be unknown.</p> <p>Development on this site has potential to impact on the setting of the built heritage assets listed above.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No previous archaeological work has been carried out within the site, and little arch-archaeological evidence has been revealed by excavations within the surrounding area. The available evidence suggests that there is a potential for Bronze Age, Post medieval and Modern heritage assets within the site. Due to the lack of archaeological work and limited evidence from the study area the potential for archaeological remains, dating to other periods, within the site is relatively unknown.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>In terms of mitigating impact on potential below ground archaeology there will be a requirement for further assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Design the layout of any development to respect existing sight-lines and inter-visibility between the built heritage assets.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>

<p>5) What further work is required?</p>	<p>Site will require a further desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WFR/WC/33

Site Name:  
LEA CASTLE WEST A449

Housing and Community  
Uses



Crown Copyright 100018317

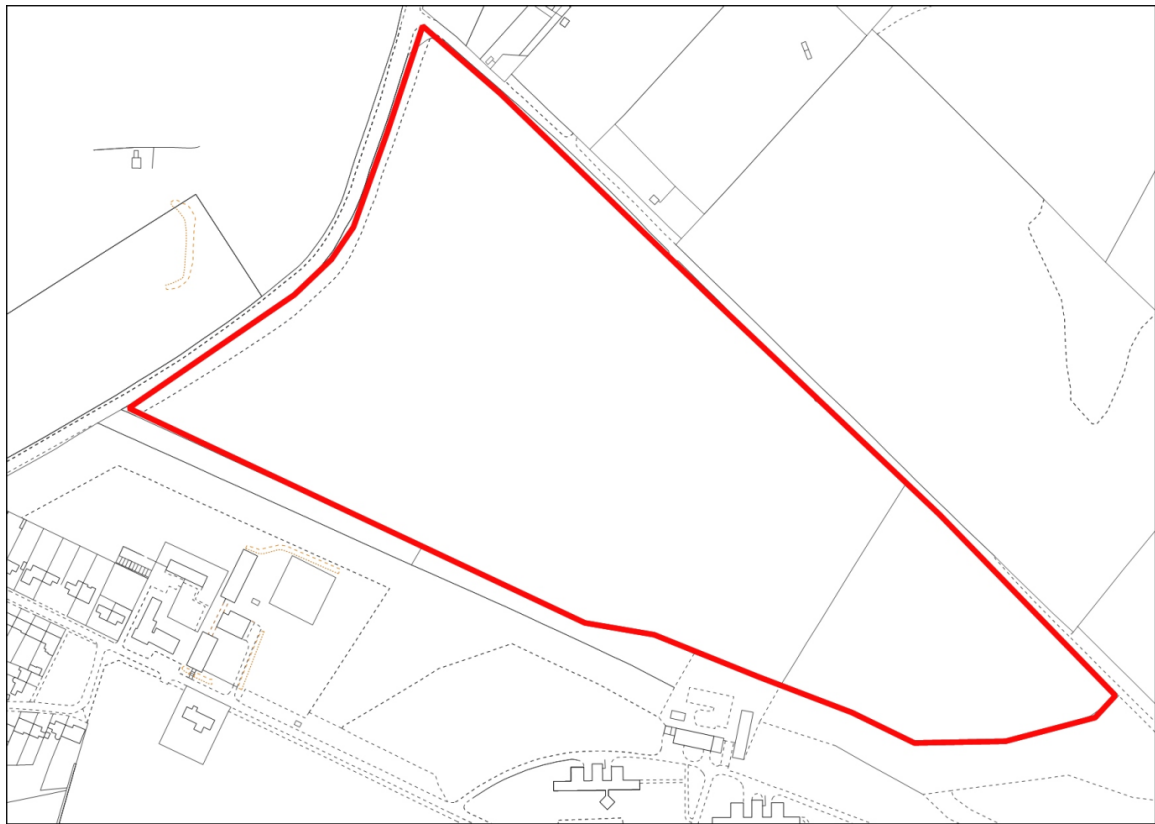
<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>No designated or undesignated historic assets recorded on the site.</p> <p>Undesignated heritage assets included on the Worcestershire HER:</p> <p>Lea Castle Park WSM28847;</p> <p>Lea Castle Farm Wolverley WSM30493;</p> <p>Lea Castle Park WSM28847 lies 10m to the W of the site;</p> <p>Lea Castle Farm Wolverley WSM30493 is situated 85m W of the site;</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>This is a large site of unknown archaeological potential in an area that was historically associated with large areas of unenclosed heathland. These landscapes have the potential to contain prehistoric archaeology and flint artefacts.</p> <p>WSM28847 Lea Castle Park:</p> <p>Lea Castle estate had remained undisturbed by the expansion of Kidderminster into the early-20th century as recorded (as a park) on the 1st edition of the OS 6 inch. Much of the area defined then as park is still green. It was bounded on the west by the Staffordshire-Worcestershire Canal, the B4189 to the south (south lodge), with an east lodge on the Cookley-Broadwaters road near Lea Castle Farm. An avenue connected the house with the south lodge. The house at Cookley is noticed on Isaac Taylor's 1772 map. The early 19th century house was demolished in 1945. This house was a neo-gothic castle which suggests that a picturesque taste would have been applied to the laying-out of the grounds but details cannot be made out from early or mid-19th century printed maps and the grounds today lack any special quality except for a (?) accidental vale between two woods close to the site of the demolished mansion on the north side. The mid 19th century castellated lodges and the brick boundary wall survive.</p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Although the park is still legible 20<sup>th</sup> century encroachment and a variety of uses has reduced its aesthetic and historic values somewhat, although overall significance is considered to be low/medium.</p> <p>Lea Castle Farm Wolverley WSM30493 comprises a partially extant C18 farmstead with buildings now converted to residential use. Originally the brick pierced barns were used for threshing. The barns stand isolated and in a prominent location to the west of the site. They have low/medium significance arising from their aesthetic and historic values.</p> <p>Development on the site will impact on the setting of the former parkland and Lea Castle Barns.</p> <p>Development on this site has potential to affect below ground historic environment the significance of which is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>A sensitive site that should buffer existing woodlands and provide visual screening to the south. The western boundary with the A449 should be enhanced to provide screening to the west and enhance the wider Lea Castle site GI network. The north-west of the site should consider buffering the setting of Lea Castle Farm and the avoidance of visual coalescence with Cookley.</p> <p>In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential and develop an archaeological profile. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Site allocations policies to reflect this.</p> <p>Not applicable.</p>

<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify above ground and potential for below ground archaeology to inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: WFR/WC/34	Site Name: LEA CASTLE NORTH – AXBOROUGH LANE	Housing
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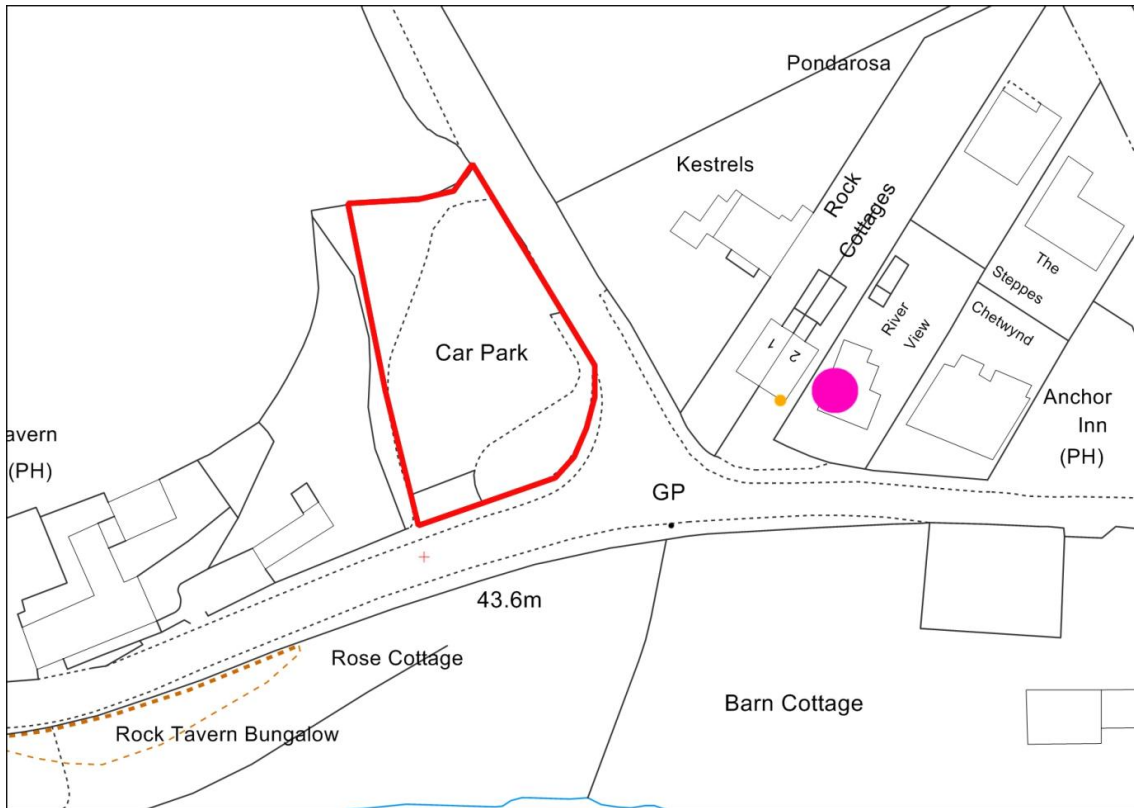


Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>No designated or undesignated historic assets recorded on the site.</p> <p>Undesignated heritage assets included on the Worcestershire HER:</p> <p>WSM06738: Site of Barrow</p> <p>WSM06738 may lie close to the site or within site as its precise location is unknown.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>This is a large site of unknown archaeological potential in an area that was historically associated with large areas of unenclosed heath land. These landscapes have the potential to contain prehistoric archaeology and flint artefacts.</p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>WSM06738 is a possible barrow, recorded in Saxon charters, and has been assigned a Bronze Age date. Based on the descriptions in the charters, tentatively located within Talbots Coppice. There are no traces of surviving earthworks visible above ground, but it is possible that archaeological remains relating to the barrow survive below the surface. As such the adjacent site is considered to have a medium potential for the Bronze Age period. The significance is medium.</p> <p>Development on this site has potential to affect below ground historic environment the significance of which is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>This site will require a programme of archaeological works in order to establish its archaeological profile.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WFR/WC/36	Site Name: ROCK TAVERN CAR PARK CAUNSALL	Housing
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Undesignated heritage assets included on the Worcestershire HER:</p> <p>Caunsall Medieval Settlement WSM15032;</p> <p>Caunsall Farm WSM46392;</p> <p>Associated Outbuildings WSM46393;</p> <p>All heritage assets within 150m of the site to the South and East.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Within the historic core of Caunsall and therefore should be considered to be of medium to high archaeological potential and overall significance of the site is also potentially medium to high. This is because there may be archaeology associated with Caunsall Medieval Settlement which has yet to be discovered.</p>

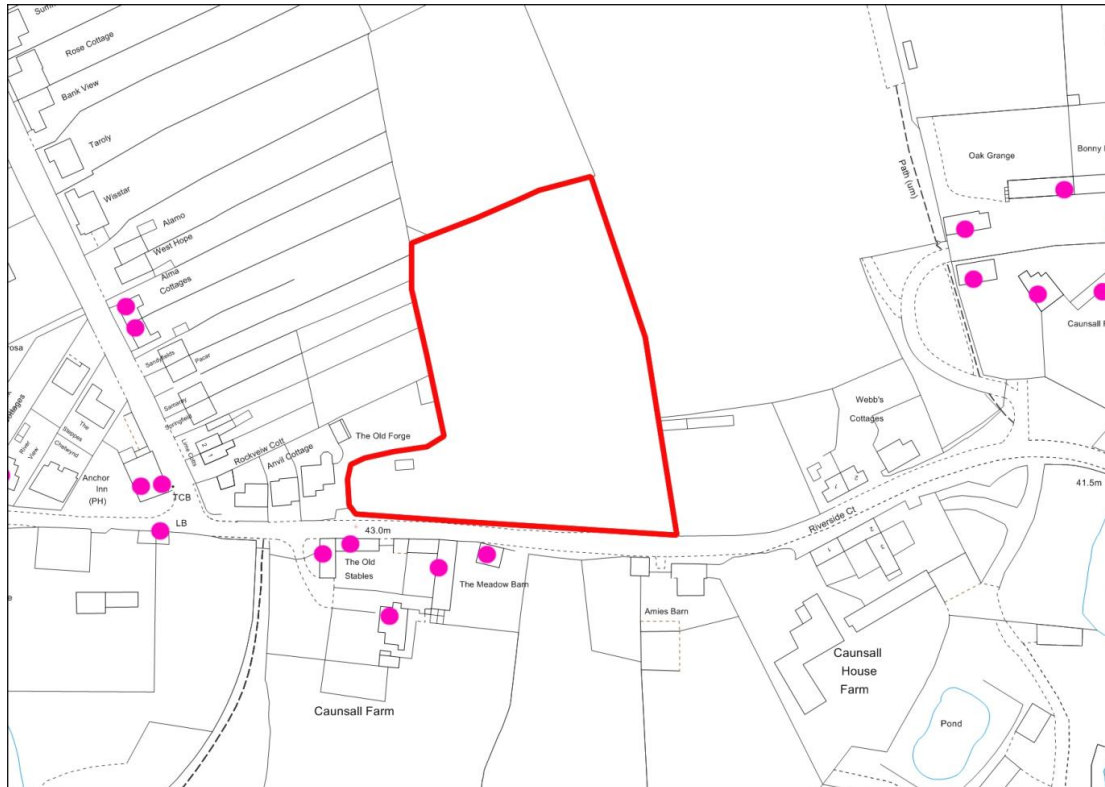
<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Medium to high potential for below ground archaeology thus overall significance of the site is medium to high.</p> <p>The significance of Caunsall Farm and its associated outbuildings is principally aesthetic and historic.</p> <p>Although there are no known built heritage assets on site the historic environment potential of the site is medium to high and thus development may affect below ground archaeology.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Development should respect the morphology, scale and building line of existing historic buildings within the village setting.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>

<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WFR/WC/37

Site Name:  
LAND AT CAUNSALL ROAD

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Undesignated heritage assets included on the Worcestershire HER:

Caunsall Medieval Settlement WSM15032;

Caunsall House Farm WSM53942;

Caunsall Farm WSM46392; also included on Local Heritage List for Wolverley and Cookley LLWC29.

Barn Cottage WSM46392;

c) What is the proximity?

WSM15032 lies 50m to the east of the site.

WSM46392 lies 10m to the south of the site.

2a) What is the significance of the heritage assets?

Within the historic core of Caunsall and therefore should be considered to be of moderate to high archaeological potential

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>and overall significance of the site is also potentially medium to high. This is because there may be archaeology associated with Caunsall Medieval Settlement which has yet to be discovered.</p> <p>Moderate to high potential for below ground archaeology thus overall significance of the site is medium to high.</p> <p>The significance of both Caunsall Farm and Caunsall House Farm and their associated outbuildings is principally aesthetic and historic.</p> <p>Although there are no known built heritage assets on site the historic environment potential of the site is moderate to high and thus development may affect below ground archaeology.</p> <p>The site is immediately opposite Caunsall Farm and development thus has potential to impact upon its setting.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Low density development which respects the historic morphology of the settlement is preferred.</p> <p>Site allocations policy to reflect the above. Not applicable.</p>

<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



## Appendix A4

### Heritage Impact Assessments for site allocations included within the Wyre Forest District Council Local Plan Pre-Submission Publication October 2018

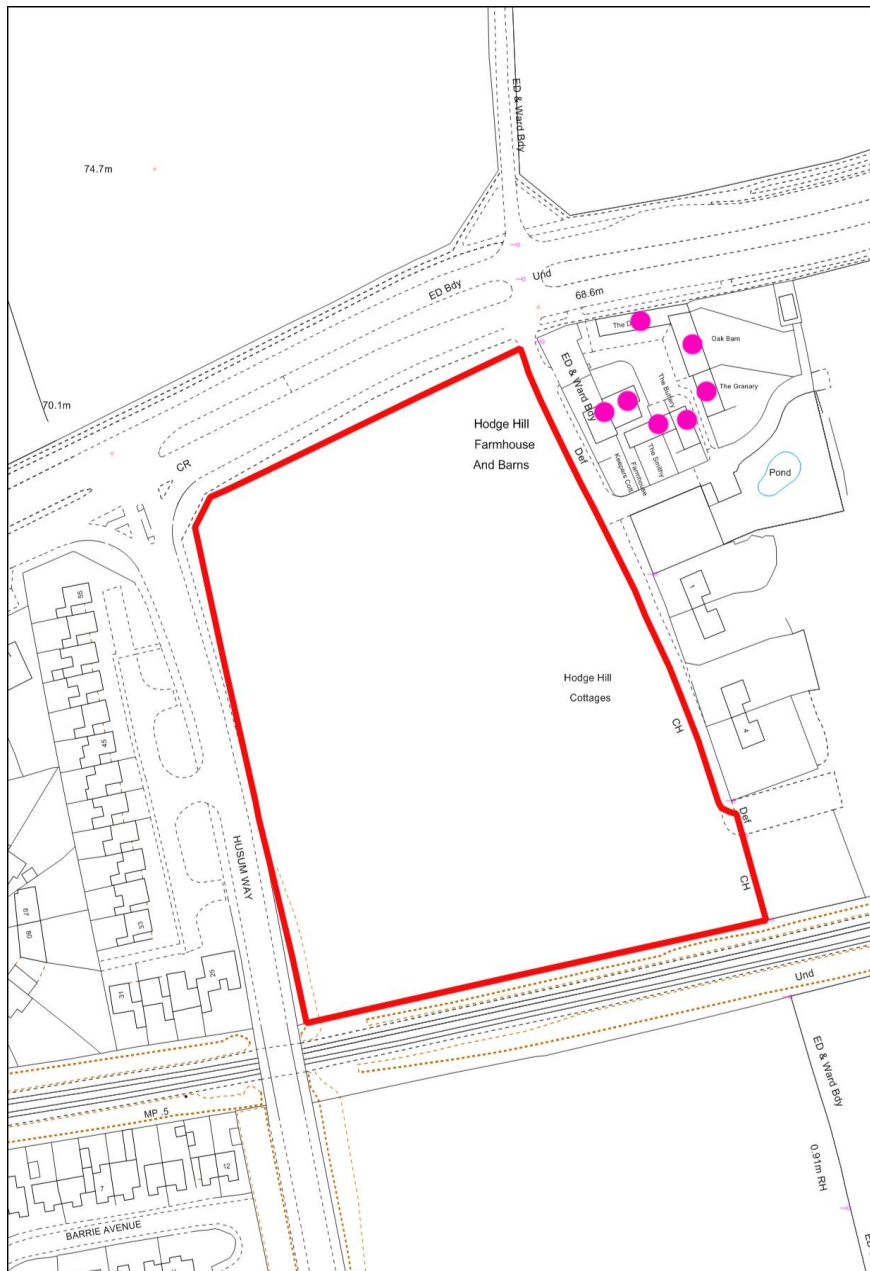
#### Kidderminster East

HELAA REF	LOCATION	SOURCE	SIZE (HA)	HOUSING CAPACITY	Bfd/Gfd/GB	Type of land use
OC/5	Husum Way	PO	2.1	30	GB	Housing
OC/6	r/o Offmore	PO	28.36	300	GB	Housing
OC/12	Comberton Lodge	PO	0.84	10	GB	Housing
OC/13N	Land at Stone Hill North	PO	57.1	1100	GB	Housing plus community uses

Site Ref: OC/5

Site Name:  
HUSUM WAY

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Undesignated heritage assets included on Worcestershire HER:

Oxford Worcester and Wolverhampton Railway WSM31664;

Hodge Hill Farmhouse, Hodge Hill Farm, Hurcott WSM39623;

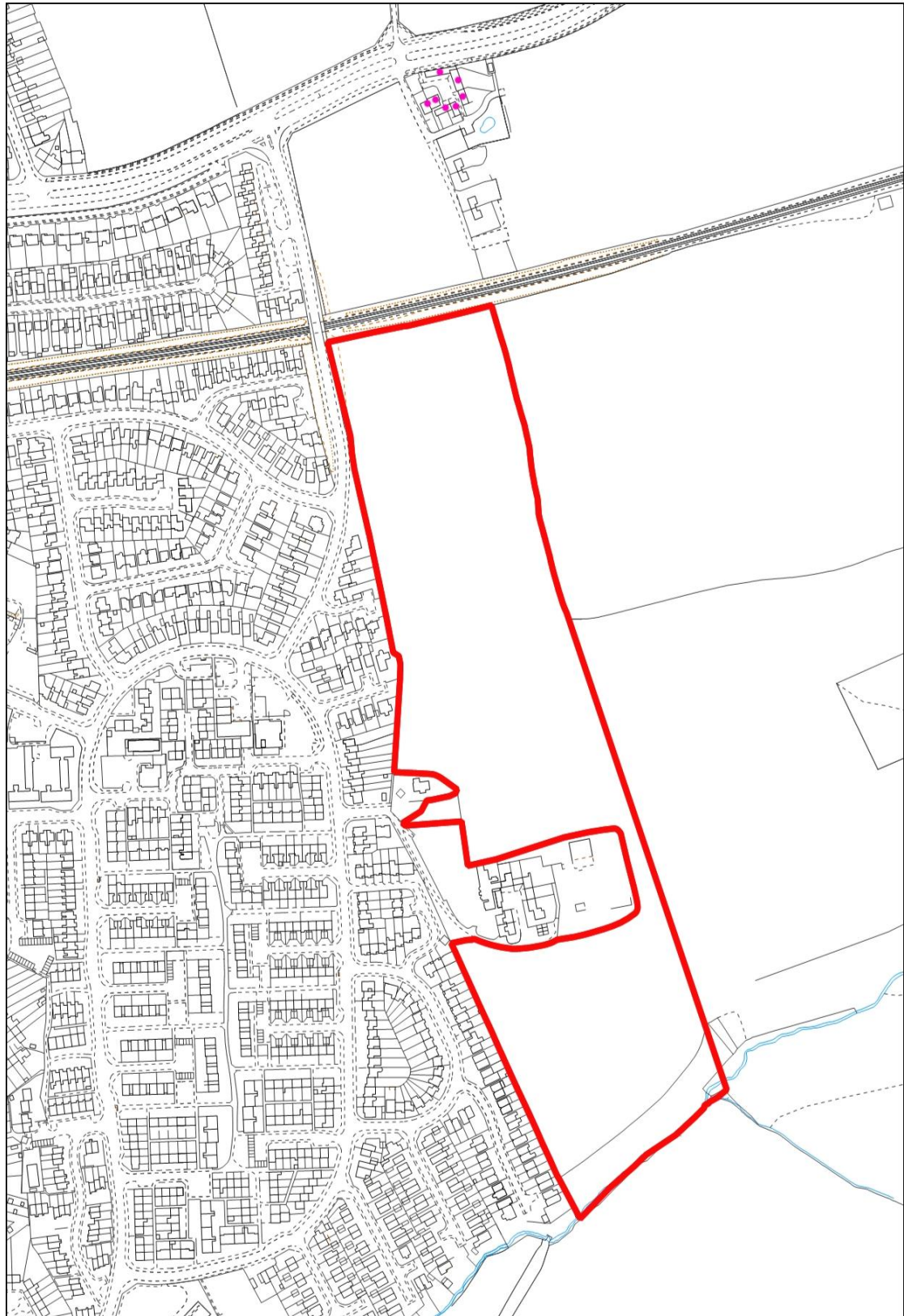


<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>Any new development should, in terms of form, scale and massing respect the orientation and setting of the farmstead and historic views from and towards the farmstead.</p> <p>No legible above ground heritage assets to protect within the site. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: OC/6

Site Name:  
R/O OFFMORE

Housing



Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes</p> <p>Undesignated heritage assets included on Worcestershire HER:</p> <p>Lord Foley's Irrigation Scheme WSM16506</p> <p>Oxford Worcester and Wolverhampton Railway WSM31664;</p> <p>PAS Find spot.</p> <p>Undesignated heritage assets not included on Worcestershire HER:</p> <p>Offmore Farm House and barns</p> <p>WSM16506 irrigates the site.</p> <p>WSM31664 forms the northern boundary of the site.</p> <p>Offmore Farm is surrounded by the site to the north, east and south.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Lord Foley's Irrigation Scheme WSM16506: The original system was constructed around 1680 to convey waters from the high ground of the Clent Hills to the sandy arable areas of the Blakedown/Kidderminster areas. This improvement was made by Lord Foley under the direction of Mr. Pratt. This feature covers a vast area of fields under pasture and cultivation. The channel systems are clearly seen on LiDAR imagery. There could be some potential for remaining environmental deposits within this area.</p> <p>WSM31664 Railway constructed c.1850-52 to accommodate GWR broad gauge but laid to standard gauge. Opened in 1852. At this location the railway runs along an embankment. It has medium historic and low aesthetic significance but negligible evidential or communal value.</p> <p>Offmore Farmhouse: Although much extended the original front elevation of this early C19 house retains its portico, flanked</p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>by Victorian sash bays and central gable with roundel window. The barns were converted many years ago to provide additional residential accommodation. Overall the farmstead character remains and the site has medium aesthetic and historic value contributing to its local significance.</p> <p>No other known heritage assets on site therefore the historic environment potential of the site is unknown.</p> <p>Development on this site may disturb the Irrigation Scheme, which if still operational may impact on other arable land within the vicinity.</p> <p>Development on this site has potential to affect the setting of Offmore Farmhouse which currently lies outside the built-up urban area of Kidderminster.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation Possible.</p> <p>On site: No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology related to Lord Foley's irrigation scheme there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Any new development should, in terms of form, scale and massing respect the orientation and setting of the farmstead and historic views from and towards the farmstead.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p>	<p>Yes</p> <p>The rural setting of the farmhouse could be maintained to an extent by creating a green buffer around the farmstead site, with GI potential for links from the present housing estate to the boundary of the proposed new</p>

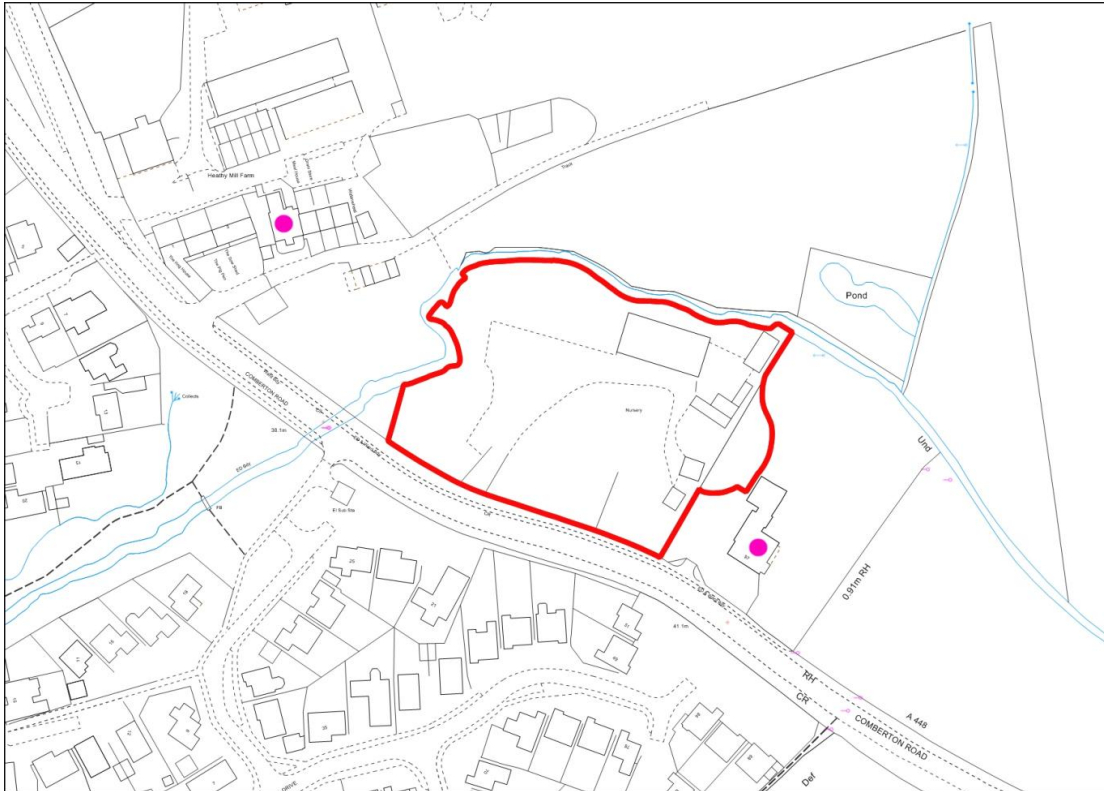
<p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>development, with benefits including maintaining some views across the site and towards and from the farmstead.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: OC/12

Site Name:  
COMBERTON LODGE

Housing



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1 a) Is the site in proximity to Heritage assets?

YES.

If yes,

b) What type of heritage asset?

Undesignated heritage asset included on the Worcestershire HER:

Palaeochannel, South East of Heathy Mill Farm WSM56602;

Heathy Mill, Comberton Road, Kidderminster WSM08163; Included on the Local Heritage List for Kidderminster ref: LLK100.

Comberton Lodge 97 Comberton Rd Kidderminster: Included on the Local Heritage List for Kidderminster ref: LLK97.

WSM56602 lies within the site.

WSM08163 lies 40m to the NW of the site.

LLK97 is adjacent to the E boundary of the site.

c) What is the proximity?

2a) What is the significance of the heritage assets?

WSM56602 Palaeochannel identified from the 1st Edition OS map only. The area is under partial tree cover. There could be some potential for surviving environmental remains, however this is unknown. This palaeochannel has association with the Heathy Mill.

WSM08163: Shown as Heathy Mill (Corn) on 1st Edition Ordnance Survey map. Originally the mill was at the lower end of Lord Foley's irrigation scheme, developed c.1700. The mill building was used for textiles in the early 19th century.

In 1831 it was being used for the spinning of worsted and woollen yarn, on a 21-year lease dating from 1820, though the tithe apportionment indicates that the mill was grinding corn in 1838.

An extension to its length was probably linked to this work. A third storey suggests a change to corn grinding before the abolition of the window tax in 1845, as a number of the top storey windows are blocked which indicates that extension of the building took place after 1861.

The mill appears to have been used for the latter purpose until the mid 1950's, but was electrically driven from 1936. It was reported in 1980 that the mill was still in use for production of animal feedstuff. The mill was part of a long range of buildings, the west end of which was the farmhouse.

Mill building now converted to domestic accommodation. Historic building recording, carried out in 2005, concluded that mill structure dates from around 1820, and was butted onto existing farmhouse. Maps and a farm plan suggest the mill was extended some time after 1861, with another storey added and the waterwheel enclosed.

Surviving buildings have aesthetic and evidential value contributing to local medium significance.

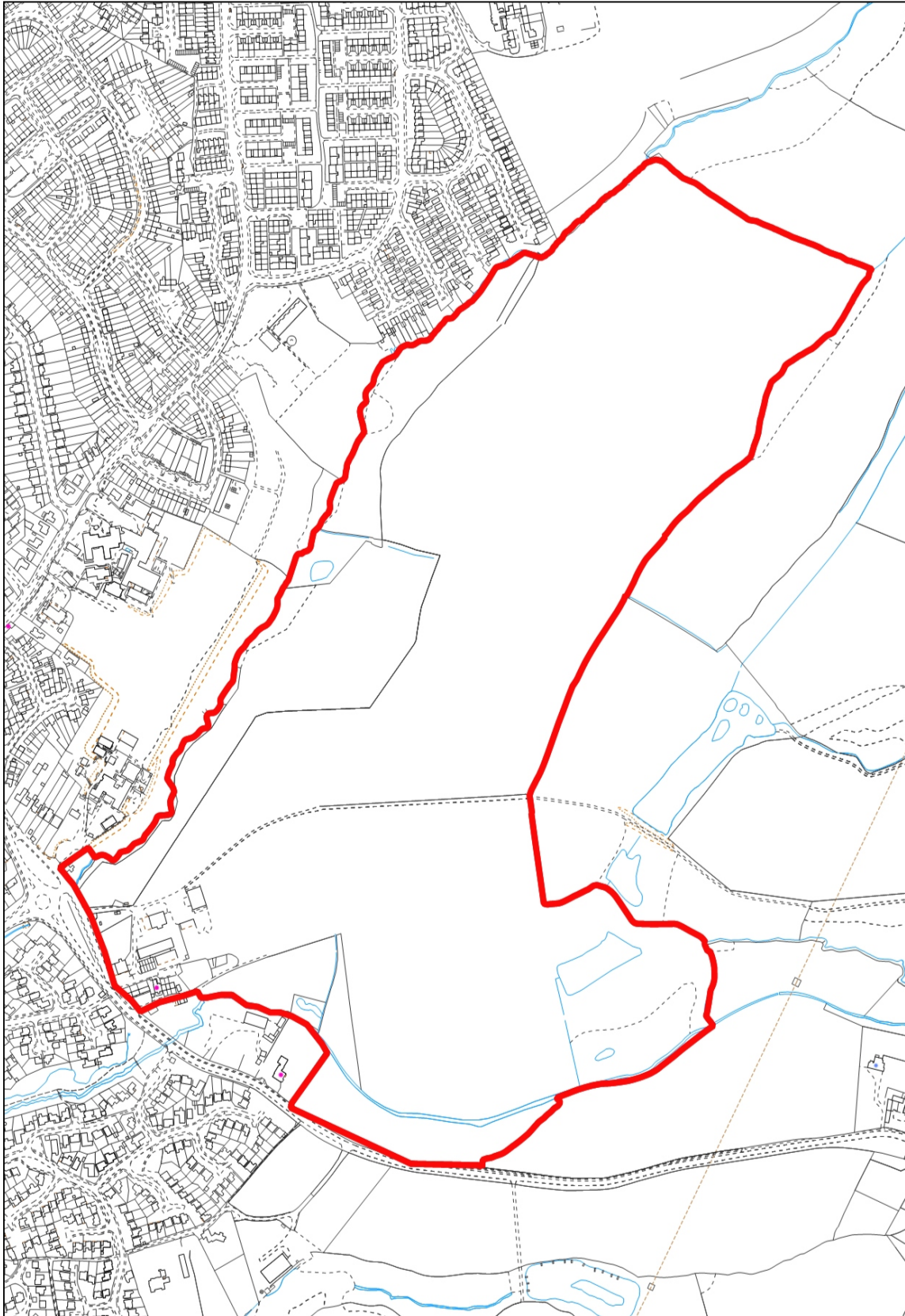
Comberton Lodge LLK97 is included on the local heritage list as having local significance – aesthetic and historic values.

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Distant from historic core of any known historic settlement therefore low potential for below ground archaeology on the site thus overall significance of the site is low.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Retention of tree-boundaries to the site may reduce visual impact on Heathy Mill Farm to the north west and preserve the setting of the mill.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and palaeo-environmental interest and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: OC/13N

Site Name:  
LAND AT STONE HILL N

Housing plus Community  
Uses



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	<p>Palaeochannel, South East of Heathy Mill Farm WSM56602:</p> <p>There could be some potential for surviving environmental remains, however this is unknown. This palaeochannel could have some association with the Heathy Mill to the west - WSM08163.</p> <p>WSM08163: Shown as Heathy Mill (Corn) on 1st Edition Ordnance Survey map. Originally the mill was at the lower end of Lord Foley's irrigation scheme, developed c.1700. The mill building was used for textiles in the early 19th century.</p> <p>In 1831 it was being used for the spinning of worsted and woollen yarn, on a 21-year lease dating from 1820, though the tithe apportionment indicates that the mill was grinding corn in 1838.</p> <p>An extension to its length was probably linked to this work. A third storey suggests a change to corn grinding before the abolition of the window tax in 1845, as a number of the top storey windows are blocked which indicates that extension of the building took place after 1861.</p> <p>The mill appears to have been used for the latter purpose until the mid 1950's, but was electrically driven from 1936. It was reported in 1980 that the mill was still in use for production of animal feedstuff. The mill was part of a long range of buildings, the west end of which was the farmhouse.</p> <p>Mill building now converted to domestic accommodation. Historic building recording, carried out in 2005, concluded that mill structure dates from around 1820, and was butted onto existing farmhouse. Maps and a farm plan suggest the mill was extended some time after 1861, with another storey added and the waterwheel enclosed.</p> <p>Surviving buildings have aesthetic and evidential value contributing to local medium significance.</p> <p>Comberton Lodge LLK97 is included on the local heritage list as having local significance – aesthetic and historic values.</p>
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<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Development on this site may disturb the Irrigation Scheme, which if still operational may impact on other arable land within the vicinity.</p> <p>Development on this scale will impose a significant impact on the existing rural landscape character.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>This is a large site that in addition to those undesignated heritage assets noted above has a moderate to high potential for below ground archaeology and should therefore be assessed as part of a programme of works that will include geophysical survey, trial trenching, environmental sampling and mitigation through more detailed investigations.</p> <p>The existing GI framework offers opportunities for integration and softening of visual impact. Key features are the north-south woodland corridor that forms the western site boundary, the historic north-south hedgerow that forms the eastern boundary that should be enhanced and buffered to soften the transition from suburban to rural landscape.</p> <p>Site allocation policy can consider the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Historic irrigation features should be sensitively integrated into the development. Hoo Brook should be buffered with no development between Hoo Brook and the A448 to maintain the visual rural character of the western approach towards Kidderminster.</p> <p>Site allocation policy can consider the above.</p>

<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to confirm moderate to high potential for below ground archaeology and should therefore be assessed as part of a programme of works that will include geophysical survey, trial trenching, environmental sampling and mitigation through more detailed investigations. This will inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings. A separate assessment of impact on the setting of designated heritage assets is also required.</p>



## Appendix A5

### Heritage Impact Assessments for site allocations included within the Wyre Forest District Council Local Plan Pre-Submission Publication September 2019

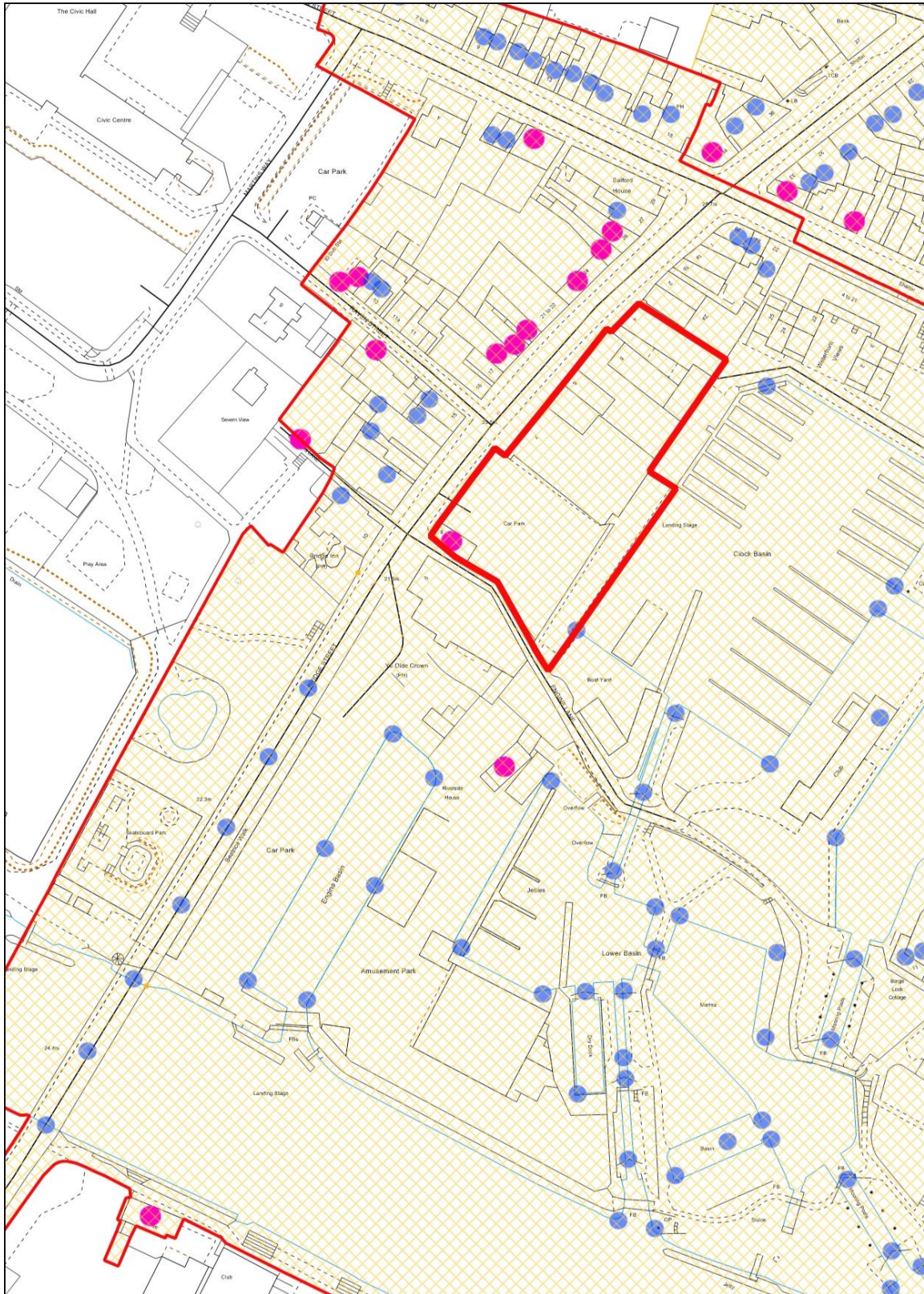
#### Stourport Sites

HELAA REF	LOCATION	SOURCE	SIZE (HA)	HOUSING CAPACITY	Bfd/Gfd/GB	Type of land use
AKR/1	Bridge Street Basins	PO	0.137	17	Bfd	Housing
AKR/2	Cheapside	PO	2.2	72	Bfd	Housing and employment
AKR/7	Swan Hotel/Working Mens Club	PO	1.52	20	Bfd	Housing to rear of Swan Hotel with community and sports uses retained
AKR/10	Queens Road shops	LPRPO	0.37	22	Bfd	Housing plus commercial/community use
AKR/14	Pearl Lane	PO	15.09	200	Gfd	Housing - 200 dwellings only
AKR/20	Carpets of Worth	PO	3.3	110	Bfd	Housing plus community use
LI/11	Land west of former school site Consiton Crescent (formerly part of golf course)	other	9.52	170	GB	Housing
MI/1	County Buildings	PO	0.69	40	Bfd	Housing
MI/3	Parsons Chain	PO	2.88		Bfd	C2, C3 and employment
MI/5	Baldwin Road	PO	1.79	60	Bfd	Housing
MI/6	Steatite Way	PO	3.29	106	Bfd	Housing
MI/7	Worcester Road Car Sales (southern part)	HELAA	0.29	15	Bfd	Housing
MI/10	Four Acres ADR	PO		N/A	Gfd	Caravan site
MI/11	3 Sandy Lane Titton	HELAA	0.32	13	Bfd	Housing
MI/18	North of Wilden Lane IE	PO		N/A	GB	Employment
MI/21	Wilden Top ADR	PO	2.28	37	Gfd	Reserved Housing Site
MI/24	Land adj. Rock Tavern Wilden Lane	HELAA	0.06	2	GB	Housing
MI/33	Wilden Lane IE	PO		N/A	Bfd	Employment
MI/36	Firs Yard Wilden Lane	LPRPO			GB	Gypsy pitches
MI/38	School site Coniston Crsecent	LPRPO	0.88	30	GB/bfd	Housing

Site Ref: AKR/1

Site Name:  
BRIDGE STREET BASINS

Housing



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<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p>	<p>Yes.</p> <p>Site contains designated and undesignated heritage assets.</p> <p>Designated heritage assets included on the National Heritage List for England:</p> <p>BRIDGE INN Grade II NHLE:1292409;</p> <p>11, BRIDGE STREET Grade II NHLE: 1209447;</p> <p>12, BRIDGE STREET Grade II NHLE: 1209448;</p> <p>13, BRIDGE STREET Grade II NHLE: 1292637;</p> <p>14 AND 15, BRIDGE STREET Grade II NHLE; 1292406;</p> <p>CANAL BASINS, LOCKS AND WHARVES Grade II NHLE: 1209441;</p> <p>22, 23 AND 24, YORK STREET, 1-1A, BRIDGE STREET Grade II NHLE: 1209477;</p> <p>STOURPORT YACHT CLUB HOUSE Grade II NHLE: 1209452;</p> <p>Designated heritage assets:</p> <p>Stourport No. 1 Conservation Area;</p> <p>Undesignated Heritage assets included on the Worcestershire HER:</p> <p>16 Bridge Street, Stourport WSM35682;</p> <p>17 Bridge Street, Stourport WSM35683;</p> <p>18 Bridge Street, Stourport WSM12816;</p> <p>19 Bridge Street, Stourport WSM35684;</p> <p>20 Bridge Street, Stourport WSM35685;</p> <p>23 Bridge Street, Stourport WSM12817;</p>
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<p>c) What is the proximity?</p>	<p>24 Bridge Street, Stourport WSM35687</p> <p>25 Bridge Street, Stourport WSM35686;</p> <p>26 Bridge Street, Stourport WSM35688;</p> <p>27 Bridge Street, Stourport WSM12818;</p> <p>Ye Olde Crown, Bridge Street, Stourport WSM34872;</p> <p>Undesignated Heritage assets included on WFDC Local Heritage List for Stourport-on-Severn:</p> <p>8 Bridge Street Stourport Ref: SSSL038</p> <p>Engine House Engine Lane (No SSSL Ref)</p> <p>BRIDGE INN Grade II NHLE:1292409; 11, BRIDGE STREET Grade II NHLE: 1209447; 12, BRIDGE STREET Grade II NHLE: 1209448; 13, BRIDGE STREET Grade II NHLE: 1292637; 14 AND 15, BRIDGE STREET Grade II NHLE; 1292406; The above designated heritage assets are situated on the west side of Bridge Street some 12-15m from the western boundary of the site.</p> <p>CANAL BASINS, LOCKS AND WHARVES Grade II NHLE: 1209441; The above designated heritage assets form the east boundary of the site.</p> <p>22, 23 AND 24, YORK STREET, 1-1A, BRIDGE STREET Grade II NHLE: 1209477; The above designated heritage assets are situated 18m NW of the site.</p> <p>STOURPORT YACHT CLUB HOUSE Grade II NHLE: 1209452 is situated 75m SE of the site.</p> <p>Stourport No. 1 Conservation Area washes over the entire site.</p> <p>16 Bridge Street, Stourport WSM35682; 17 Bridge Street, Stourport WSM35683;</p>
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	<p>18 Bridge Street, Stourport WSM12816;  19 Bridge Street, Stourport WSM35684;  20 Bridge Street, Stourport WSM35685;  23 Bridge Street, Stourport WSM12817;  24 Bridge Street, Stourport WSM35687  25 Bridge Street, Stourport WSM35686;  26 Bridge Street, Stourport WSM35688;  27 Bridge Street, Stourport WSM12818;  The above undesignated heritage assets are situated on the west side of Bridge Street some 12m from the western boundary of the site.</p> <p>Ye Olde Crown, Bridge Street, Stourport WSM34872 is sited 5m to the S of the site.</p> <p>8 Bridge Street Stourport Ref: SSSL038 is situated within the site.</p> <p>Engine House Engine Lane (No SSSL Ref) is situated 20m to the S of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>BRIDGE INN Grade II NHLE:1292409;  Inn opened in 1790 has historic and aesthetic and group values contributing to medium significance.</p> <p>11, BRIDGE STREET Grade II NHLE: 1209447;  Late C18 dwelling now restaurant has historic and aesthetic and group values contributing to medium significance.</p> <p>12, BRIDGE STREET Grade II NHLE: 1209448;  Late C18 shop has historic and aesthetic and group values contributing to medium significance.</p> <p>13, BRIDGE STREET Grade II NHLE: 1292637;  Late C18 shop has historic and aesthetic and group values contributing to medium significance.</p> <p>14 AND 15, BRIDGE STREET Grade II NHLE; 1292406;  Pair of shops c1800 built as a single development has historic and aesthetic and group values contributing to medium significance.</p> <p>CANAL BASINS, LOCKS AND WHARVES Grade II NHLE: 1209441;</p>



	<p>Canal basins, locks and wharves, built by the Staffordshire and Worcestershire Canal Company from 1766. James Brindley was the principal engineer. Original construction was stone and brick for basin and lock walls, timber lock gates, stone wharf walls. Of high historic value and medium aesthetic and communal value, overall a high medium significance.</p> <p>22, 23 AND 24, YORK STREET, 1-1A, BRIDGE STREET Grade II NHLE: 1209477; Group of shops c.1820 representing an early expansion of the retail area of the town and of high aesthetic and historic value, occupying a prominent location within the Conservation Area and featuring a curved corner with curved sash windows.</p> <p>STOURPORT YACHT CLUB HOUSE Grade II NHLE: 1209452; Club house, originally grain and general merchandise warehouse. Late C18, built for Staffordshire and Worcestershire Canal Company. Roof is surmounted by wood clock tower with leaded cupola, added by public subscription in 1812. The club house is highly prominent within the Conservation Area(s) and its setting contributes greatly to its significance which is medium/high due to its aesthetic and historic values.</p> <p>Designated heritage assets:</p> <p>Stourport No.1 Conservation Area:</p> <p>Stourport-on-Severn No.1 Conservation Area is 16.9 hectares in extent and comprises a group of canal basins, and associated environments and buildings that date primarily from the late eighteenth and nineteenth centuries, and which together form the southern part of the historic core of the Town.</p> <p>The Area contains forty-two Statutory List Entries which relate to approximately seventy five statutorily listed buildings and structures (excluding the numerous listed structures relating to the basins); together with several other buildings and structures of interest, primarily dating from the late</p>
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	<p>eighteenth to early twentieth centuries.</p> <p>Some of the latter have been subject to unsympathetic alterations (such as replacement of windows) but none are beyond restoration, which should be considered in preference to redevelopment. Generally, every effort should be made to retain built fabric in the Area dating from the late eighteenth and nineteenth centuries in particular.</p> <p>Particularly special features are as follows:</p> <ul style="list-style-type: none"> <li>• Bridge over the River Severn and its arched causeway.</li> <li>• Buildings in Bridge Street, Raven Street and Lichfield Street.</li> <li>• Buildings and structures which were properties of the Staffordshire and Worcestershire Canal Company, including the Canal basins, locks, foot bridges, railings and walls; the Tontine and former stabling at the southern end of Mart Lane; the Canal Maintenance building and attached cottage to north west of the Tontine; terraces of houses in Mart Lane.</li> <li>• Basin retaining and enclosing walls, terrace revetments and riverside quays, in red sandstone and brick.</li> <li>• Clock Warehouse.</li> <li>• Inscribed culvert markings on the Tontine.</li> <li>• Nos. 19, 20 &amp; 21, &amp; York House, York Street.</li> <li>• Red brick walls laid in Flemish bond and poly-chrome brickwork in Cheapside.</li> <li>• Sets of railings.</li> <li>• Canal-side crane and former warehouse (now a chandler's) in Mart Lane.</li> <li>• Narrowly enclosed, twisting footpath</li> </ul>
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	<p>leading from Severn Side to Severn Road/Cheapside and the Angel Public House, and its entrance from Severn Side.</p> <ul style="list-style-type: none"> <li>• Narrow road leading from Cheapside to the river, including a retaining wall in blue brick and some original brick paving.</li> <li>• Former vinegar works (Cheapside).</li> </ul> <p>The area covers a part of town that was established and developed as a result of the construction of the Staffordshire and Worcestershire Canal, and is the only town in England to hold this distinction. This part of the town thus has immense historic value and because of the relationship between town and canal, the character of the Conservation Area is of particularly high importance.</p> <p>The layout and construction of the town during the Georgian period has stamped an unmistakable character and appearance on the urban fabric, which provides a clear lead for the design and layout of further development.</p> <p>Undesignated Heritage assets included on the Worcestershire HER:</p> <p>16 Bridge Street, Stourport WSM35682;  17 Bridge Street, Stourport WSM35683;  18 Bridge Street, Stourport WSM12816;  19 Bridge Street, Stourport WSM35684;  20 Bridge Street, Stourport WSM35685;  23 Bridge Street, Stourport WSM12817;  24 Bridge Street, Stourport WSM35687  25 Bridge Street, Stourport WSM35686;  26 Bridge Street, Stourport WSM35688;  27 Bridge Street, Stourport WSM12818;  Although they have lost some of their historic features due to conversions and alterations these undesignated heritage assets nevertheless form an important street-scene feature within the Conservation Area, representing the earliest development of the town. They therefore have low aesthetic value but high historic value and overall medium significance.</p>
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b) Will the proposed development have any impact on the significance? Please explain.

Ye Olde Crown, Bridge Street, Stourport WSM34872: This is the site of one of the earliest buildings in Stourport being built in 1775 however it appears that the building was entirely reconstructed in the mid-C20. It therefore has some communal value but little aesthetic and historic value overall a low significance.

8 Bridge Street Stourport Ref: SSSL038 is a mid-late Victorian property which may have represented an aspiration to develop the western side of Bridge Street in a similar manner. It occupies a prominent location however the asset has low aesthetic and historic significance.

Engine House Engine Lane (No SSSL REF): This structure has been heavily modified and converted into residential accommodation related to the adjacent funfair. It is an important feature of the historic basins despite its current setting, and has associated with it storage vaults which may have once been canal connected. Its significance is thus not fully understood.

Demolition of any of the existing undesignated heritage assets on the site will result in total loss of their significance.

Development of the site will impact on the character and appearance of Stourport No. 1 Conservation Area due to the prominent location of the site on rising ground above the river and the lower canal basins.

Development on the site has potential to affect the setting of nearby heritage assets including those lining the west side of Bridge Street.

Development on the site has potential to harm the character of the Conservation Area at Engine Lane by adjusting its narrow and contorted route from Bridge Street towards the Yacht Club.

Development on the site has potential to affect views across the Conservation Area east from Bridge Street, west from the basins and south from York Street. It will also feature in views towards the Conservation Area from the River Severn and from the

	<p>bridge.</p> <p>The site has a history of industrial use and there is potential for archaeological remains below ground. Development which would involve construction of new foundations could result in loss or fragmentation of surviving archaeological remains.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>Any demolition of undesignated heritage assets must be justified as detailed in the NPPF and if on balance is considered acceptable mitigated with appropriate level 4 building recording.</p> <p>This site is visible from several routes leading into and out of the historic core of the town including viewpoints located within Stourport No.1, Stourport No.2 and the Staffs and Worcs Canal Conservation Areas.</p> <p>The site falls within Stourport No.1 Conservation Area and development on it will be visible from the same Conservation Area from all directions.</p> <p>It is essential that consideration is given to the scale and massing of any development, particularly as this has potential to dwarf and overwhelm historic development if too tall.</p> <p>Tall buildings are not a feature of this part of the conservation area and any development of more than three storeys will have an unacceptable impact on the skyline of the town.</p> <p>The emphasis for any new development should be the preservation and or enhancement of the Conservation Area.</p> <p>Reference should be made to historic photography to generate designs which refer back to the former uses of the site.</p> <p>Any development on the site should reflect and compliment the existing character and quality of the historic buildings on the west side of Bridge Street. Development should create a new building line which strengthens the urban environment of Bridge Street whilst permitting permeability of the site.</p>

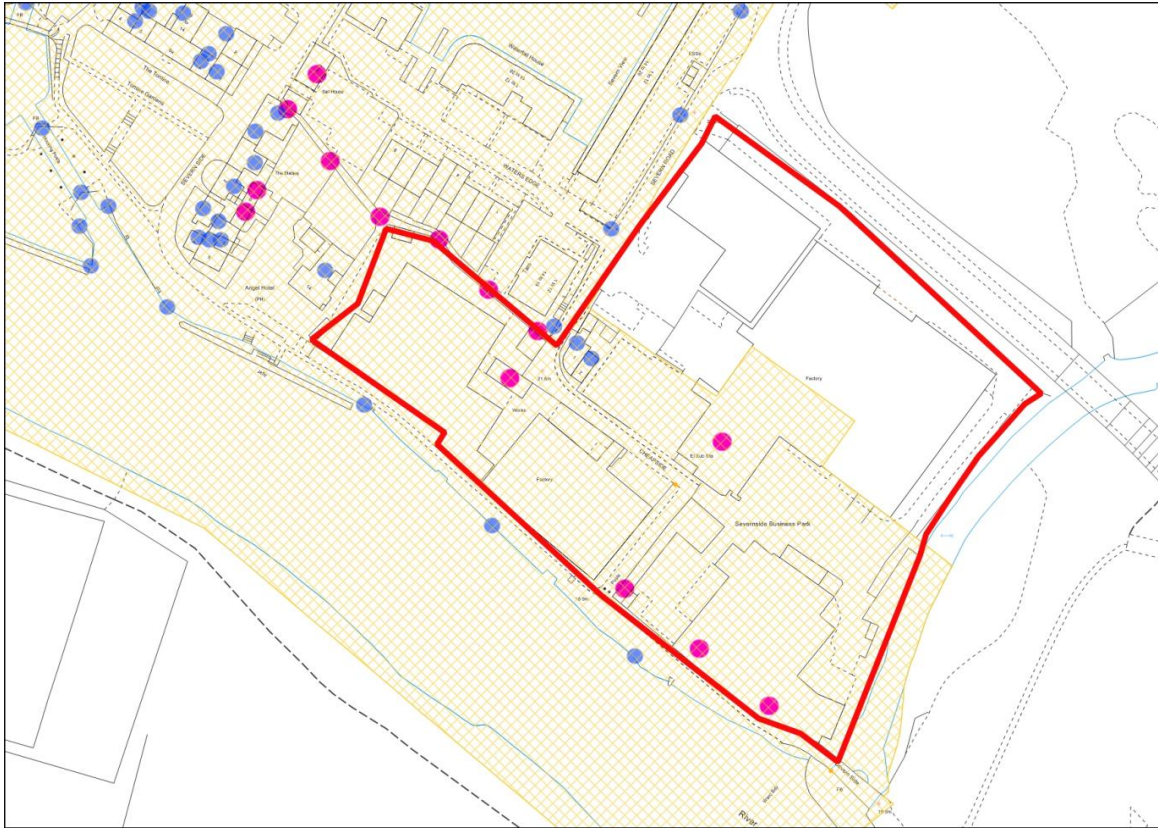
<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Very careful consideration should be given to the fact that this site is clearly visible on all sides and thus the siting of plant, storage and other facilities including parking needs special attention.</p> <p>The site offers a major opportunity to provide improved public views of the basins between new buildings and consideration should be given to this in any new designs.</p> <p>The relationship of the site to Engine Lane should be carefully considered and the width of the historic route delineated within any widening scheme so that the intrinsic nature of the twisting route is not lost.</p> <p>In terms of mitigating impact on below ground archaeology there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be required by an appropriate professional.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Creation of views and vistas across the site to maintain visual connectivity between Bridge Street and the basins; some form of public permeability through the site is desirable to create a more active areas adjacent to the basins.</p> <p>Site allocations policy to reflect the above.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in</p>

	<p>the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance.</p> <p>Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: AKR/2

Site Name:  
CHEAPSIDE

Housing and Employment



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Site contains designated and undesignated heritage assets.

Designated heritage assets included on the National Heritage List for England:

1 & 2 Cheapside, Stourport Grade II NHLE:1209932;

Sandstone Walls Grade II NHLE: 1380976;

The Angel Public House Grade II NHLE: 1209475;

Designated heritage asset:

Stourport No.1 Conservation Area;

<p>c) What is the proximity?</p>	<p>Undesignated heritage assets included on the Worcestershire HER:</p> <p>Holbrook's Vinegar Brewery, Stourport WSM19715;</p> <p>Site of Cheapside Basin, Stourport WSM32831;</p> <p>Site of Gas Works, Cheapside, Stourport WSM34629;</p> <p>Site of Stourbank House, Severn Road, Stourport WSM29447;</p> <p>Site of The Royal Oak Public House, Severn Road, Stourport WSM35048;</p> <p>Undesignated heritage assets included on Wyre Forest District Council Local Heritage List for Stourport-on-Severn:</p> <p>Cheapside TP Toys office (No SSSL ref);</p> <p>Cheapside Units 5-7, Severn Side Business Park (No SSSL ref);</p> <p>Cheapside Severn Side Business Park Ref: SSSL052;</p> <p>Ginnell leading to Severn Road Ref: SS123;</p> <p>The following heritage assets are situated within the site boundary:</p> <p>1 &amp; 2 Cheapside, Stourport NHLE:1209932; Stourport No.1 Conservation Area; Holbrook's Vinegar Brewery, Stourport WSM19715; Site of Cheapside Basin, Stourport WSM32831; Site of Gas Works, Cheapside, Stourport WSM34629; Site of Stourbank House, Severn Road, Stourport WSM29447; Site of The Royal Oak Public House, Severn Road, Stourport WSM35048; Cheapside TP Toys office (No SSSL ref); Cheapside Units 5-7, Severn Side Business Park (No SSSL ref); Cheapside Severn Side Business Park Ref: SSSL052; Ginnell leading to Severn Road Ref: SS123;</p>
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	<p>Sandstone Walls NHLE: 1380976 is located immediately adjacent to the north site boundary.</p> <p>The Angel Public House NHLE: 1209475 is situated immediately adjacent to the west site boundary.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>1 &amp; 2 Cheapside, Stourport NHLE:1209932:</p> <p>These are the last two remaining houses of the row which lined the entire length of the north side of Cheapside until expansion of the vinegar works c.1900. The assets possess historic and aesthetic value. Their medium significance is compromised somewhat by their dereliction.</p> <p>Sandstone Walls NHLE: 1380976:</p> <p>The walls have some aesthetic and considerable historic significance as they mark the boundary of the canal company's operations around the basin constructed 1812.</p> <p>The Angel Public House NHLE: 1209475:</p> <p>The building has an overall high significance due to its aesthetic value and surviving architectural features and because it pre-dates the construction of the canal, evidence shows it in business in 1773. Its setting is also significant because originally a rural building it was gradually surrounded to the east and north by industry. Possibly the only surviving evidence of the hamlet of Stourmouth.</p> <p>Stourport No.1 Conservation Area:</p> <p>Stourport-on-Severn No.1 Conservation Area is 16.9 hectares in extent and comprises a group of canal basins, and associated environments and buildings that date primarily from the late eighteenth and nineteenth centuries, and which together form the southern part of the historic core of the Town.</p> <p>The Area contains forty-two Statutory List Entries which relate to approximately seventy five statutorily listed buildings and structures (excluding the numerous listed structures relating to the basins); together</p>

with several other buildings and structures of interest, primarily dating from the late eighteenth to early twentieth centuries.

Some of the latter have been subject to unsympathetic alterations (such as replacement of windows) but none are beyond restoration, which should be considered in preference to redevelopment. Generally, every effort should be made to retain built fabric in the Area dating from the late eighteenth and nineteenth centuries in particular.

Particularly special features are as follows:

- Bridge over the River Severn and its arched causeway.
- Buildings in Bridge Street, Raven Street and Lichfield Street.
- Buildings and structures which were properties of the Staffordshire and Worcestershire Canal Company, including the Canal basins, locks, foot bridges, railings and walls; the Tontine and former stabling at the southern end of Mart Lane; the Canal Maintenance building and attached cottage to north west of the Tontine; terraces of houses in Mart Lane.
- Basin retaining and enclosing walls, terrace revetments and riverside quays, in red sandstone and brick.
- Clock Warehouse.
- Inscribed culvert markings on the Tontine.
- Nos. 19, 20 & 21, & York House, York Street.
- Red brick walls laid in Flemish bond and poly-chrome brickwork in Cheapside.
- Sets of railings.
- Canal-side crane and former warehouse (now a chandler's) in Mart Lane.



- Narrowly enclosed, twisting footpath leading from Severn Side to Severn Road/Cheapside and the Angel Public House, and its entrance from Severn Side.
- Narrow road leading from Cheapside to the river, including a retaining wall in blue brick and some original brick paving.
- Former vinegar works (Cheapside).

The area covers a part of town that was established and developed as a result of the construction of the Staffordshire and Worcestershire Canal, and is the only town in England to hold this distinction. This part of the town thus has immense historic value and because of the relationship between town and canal, the character of the Conservation Area is of particularly high importance.

The layout and construction of the town during the Georgian period has stamped an unmistakable character and appearance on the urban fabric, which provides a clear lead for the design and layout of further development.

Holbrook's Vinegar Brewery, Stourport WSM19715 (also Cheapside Units 5-7, Severn Side Business Park (No SSSL ref) and Cheapside Severn Side Business Park Ref: SSSL052:

The oldest vinegar brewery in the county built 1798. The date of the buildings on the site is probably later than 1798 but several elements appear to date from the early-mid-19<sup>th</sup> century. Later expansion of the works which subsumed Cheapside and Cheapside basin is evidence by the hexagonal office and units 5-7 Severn Side Business Park. The complex forms an important part in industrial history of Stourport, and the buildings form important facades to River, and end-stop for buildings on river frontage. The significance of the complex has yet to be fully established but some elements have medium aesthetic quality and high historic value.

	<p>Site of Cheapside Basin, Stourport WSM32831: The basin was constructed in 1812 and filled-in when the gas works (q.v.) was constructed. It has little negligible aesthetic value but the site has high archaeological potential and derelict vinegar works buildings reveal some elements of the basin including coping stones to the basin edges and the retaining walls built to contain it at a higher level than the river.</p> <p>Site of Gas Works, Cheapside, Stourport WSM34629 including Locally Listed Cheapside TP Toys office:</p> <p>The Former TP Office is part of a range of buildings associated with the former gas works. Their historic significance is thus somewhat greater than their aesthetic value. The gas works occupied the site of Cheapside Basin until 1961.</p> <p>Site of Stourbank House, Severn Road, Stourport WSM29447:</p> <p>This large detached house survived until after WW2 during which it served as accommodation for Italian POWs and later as a billet for troops manning the anti-aircraft guns nearby. Site has archaeological potential.</p> <p>Site of The Royal Oak Public House, Severn Road, Stourport WSM35048:</p> <p>This stood immediately to the north of 1 &amp; 2 Cheapside, Stourport NHLE:1209932, at 8 Severn Road. It closed in the 1960s and has been demolished. The site has archaeological potential.</p> <p>Ginnell leading to Severn Road Ref: SS123:</p> <p>This is a narrow passageway accessed from Mart Lane, through brick archway to side of Sail loft, leading to Severn Road, at the side of Lichfield Basin, including the bridge (Upper Severn Bridge) that is still present, and to Severnside, to the rear of the Angel PH. Character is created by high walls from canal basin, and other boundary walls. Some original wall in parts, but also partially in concrete block-work and other more modern patchwork. The Ginnell has low aesthetic</p>
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<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>value but high historic value contributing to a medium significance with the Stourport No. 1 Conservation Area.</p> <p>Redevelopment of this site will have a profound impact on the industrial character of the Stourport No.1 Conservation Area, principally because this is the only part of the Conservation Area with any industrial-related uses remaining.</p> <p>Demolition of standing undesigned heritage assets (or parts of them) will impact heavily on their significance, with total demolition leading to complete loss of significance.</p> <p>Excavation of foundations has potential to reveal and disturb archaeological evidence of those buildings formerly occupying the site including the remains of the terrace to the north of Cheapside, Stourbank House, Royal Oak Public House and the gas works.</p> <p>There is also potential to disturb the buried remains of Cheapside Basin and its associated retaining walls thus destroying evidential value that remains.</p> <p>Redevelopment on the site has potential to impact on the setting of The Angel The Angel Public House NHLE: 1209475, and the contribution to its significance made by its setting.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>Development proposals should preserve or enhance the character of the Conservation Area.</p> <p>There will be required a full assessment of the existing non-designated heritage assets on the site. Building recording to Historic England Level 4 is required to mitigate proposals for demolition of elements of these assets.</p> <p>The significance of the assets is likely to vary, as is the condition of those now derelict elements of the Vinegar Works.</p> <p>The retention of the most significant</p>

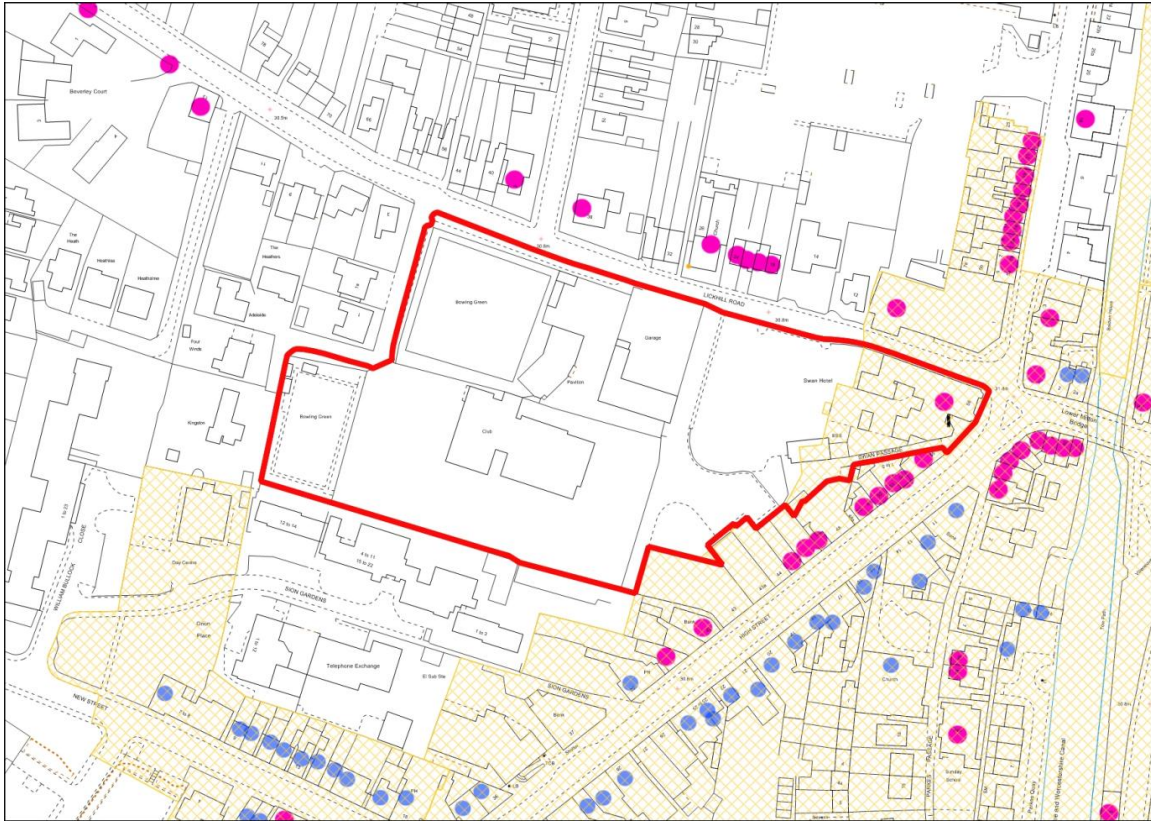
<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>surviving elements of the Vinegar Works, the Gas Works and the former canal basin (eg: retaining walls) is required to preserve some industrial characteristics of the Conservation Area and incorporate these into new development.</p> <p>Any demolition of undesignated heritage assets should be mitigated by new design and spatial planning which reflects the historic street pattern of Cheapside, the sloping path to the River Severn towpath and the location of the former basin.</p> <p>Proposals which retain the site of the basin undeveloped, retain the Ginnell and repair the former Upper Severn Bridge will be encouraged.</p> <p>The repair and re-use of 1&amp;2 Cheapside is a necessary part of any wider development to mitigate against the impacts of development adjacent to these designated heritage assets.</p> <p>In terms of mitigating impact on below ground archaeology there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be required by an appropriate professional.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p>	<p>Yes.</p> <p>Excavation of the site of the former Cheapside Basin to create a landscape feature associated with Green Infrastructure through the site from the Rivers Severn and Stour.</p> <p>Careful removal of those less significant elements of the Vinegar Works may enhance the remaining elements and encourage their re-use for alternative purposes.</p>

<p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Consider opportunities for public open space and Green Infrastructure across the site and in particular associated with the banks of the River Stour and confluence of the Stour and Severn.</p> <p>Yes. Site allocations policy to reflect the above.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: AKR/7

Site Name:  
SWAN HOTEL/WORKING  
MENS CLUB

Housing to rear of Swan  
Hotel with community and  
sports uses retained



Crown Copyright 100018317

1 a) Is the site in proximity to  
Heritage assets?

If yes,

b) What type of heritage asset?

Yes.

Designated heritage assets within the site  
boundary:

Stourport No. 2 Conservation Area;

Undesignated heritage assets included on  
the Worcestershire Historic Environment  
Record within the site boundary:

Swan Inn, High Street, Stourport WSM12804  
Also included on the Local heritage List for  
Stourport-on-Severn as 56 High Street Swan  
Hotel ref: SS77;

Outside the site boundary:

Stourport No.1 Conservation Area;

<p>c) What is the proximity?</p>	<p>Undesignated heritage assets included on the Local heritage List for Stourport-on-Severn:</p> <p>2 Vernon Rd SS242 38 Lickhill Rd SS92 26 Lickhill Rd SS97 18-24 Lickhill Rd SS86-89</p> <p>1 Lombard St SS102</p> <p>55 High St SS76 50-54 High St SS75 45-47 High St SS74 42 High St SS72 40 High St SS73</p> <p>The eastern part of the site includes:</p> <p>Stourport No.2 Conservation Area; Swan Inn, High Street, Stourport WSM12804;</p> <p>Stourport No.1 Conservation Area is adjacent to the SW corner of the site;</p> <p>2 Vernon Rd SS242 38 Lickhill Rd SS92 26 Lickhill Rd SS97 18-24 Lickhill Rd SS86-89 1 Lombard St SS102</p> <p>Are all situated within 15m of the N boundary of the site;</p> <p>55 High St SS76 50-54 High St SS75 45-47 High St SS74 42 High St SS72 40 High St SS73</p> <p>Are all situated within 15m of the SE boundary of the site;</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Stourport-on-Severn No. 2 Conservation Area:</p> <p>The Area is 6.6 hectares in extent and comprises buildings, streets, a length of canal and associated environments that date primarily from the late eighteenth and nineteenth centuries, and form the central part of the historic core of the Town. The Area continues from the south-west end of the Gilgal and covers the central part of the</p>

	<p>Town. The buildings in the Area are primarily in the Georgian style, which forms a visually powerful expression that reflects the timing of the Town's foundations and early growth.</p> <p>The Conservation Area is situated over an expanse of land that has a very gradual, even but shallow rise from south to north. The highest point of this expanse is approximately 12 metres above the bank level of the River Severn; some 500 metres to the south west. A limb of the Area extends outwards from the northern east end along Mitton Street, and this limb falls away evenly but sharply by some 6 metres as far as the road junction with Severn Road.</p> <p>The predominant land uses within the Area are as follows:</p> <p>A) Retail and commercial uses, located mainly along High Street, York Street, New Street, Lickhill Road and Lombard Street; and collectively occupying the entire Area to the west of the canal cut. It is not known whether these premises were originally constructed specifically for retail and commercial use, dwellings, or mixed use (dwellings above shops). However, it is most probable the properties in New Street (particularly the western end) were primarily dwellings; whilst the properties in Lombard Street (western side) were small dwellings or "courts"; and</p> <p>B) Pockets of long-established residential use occur in Lion Hill (east side), Mitton Street and off Parkes Passage (where there is also two churches). Recent residential use has been added to the Area by way of a redevelopment of the former canal-side loading quay, known as Parkes Quay and conversion of other canal-side buildings in the vicinity.</p> <p>The Area contains twenty-five Statutory List Entries which relate to approximately forty statutorily listed buildings; together with several other buildings and structures of interest, primarily dating from the late eighteenth to early twentieth century. Some of the latter have been subject to unsympathetic alterations (such as replacement of windows) but none are beyond restoration, which should be</p>
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	<p>considered in preference to redevelopment. Generally, every effort should be made to retain built fabric in the Area dating from the late eighteenth and nineteenth centuries in particular. Particularly special features in the Area include the following:</p> <p>The canal, including the Wallfield Bridge lock, overflow and adjoining lock keepers cottage, towpath, adjoining revetments and Lower Mitton Bridge.</p> <p>Former canal maintenance yard workshop and remains of a canal-side crane in Parkes Quay, and a canal building on the east side of the canal cut; both now converted into dwellings.</p> <p>War Memorial and Garden (Vale Road). Wesleyan Chapel and Manse, and Methodist Church and Sunday school (Parkes Passage).</p> <p>Wedged or rounded corners of buildings, where paths and roads meet.</p> <p>Nos. 9 &amp; 10, Parkes Passage, which were originally properties of the Staffordshire and Worcestershire Canal Company.</p> <p>Narrow pedestrian nature of Parkes Passage.</p> <p>The area contains a particularly important man made interruption to the natural topography in the form of the cut through which the canal passes, parallel to the western side of Lion Hill. This adopts a straight, deep passage (approximately 5 metres at its greatest), running from north to south. It enters the Area under the Lower Mitton Bridge (Mitton Street) and exits beneath the Wallfield Bridge (York Street) from where it joins the complex of basins in Area No.1. The canal is retained for almost the entire length of this cut by revetments either side, giving it a corridor-like feel. A stretch of bank on the west side (Parkes Quay) has been historically reduced to allow for the siting of loading facilities. This canal function has now been replaced by recent residential development.</p> <p>Stourport-on-Severn Conservation Area No. 2 covers part of a town that was established and developed as a result of the construction of the Staffordshire and Worcestershire Canal, and is the only town in England to hold this distinction. This part of the town thus has immense historic value and because of the relationship between town and canal, the character of the Conservation</p>
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	<p>area is of high importance.</p> <p>The laying out and construction of the town during the Georgian period has stamped an unmistakable character and appearance on the urban fabric, which provides a clear lead for further development.</p> <p>Stourport-on-Severn No.1 Conservation Area:</p> <p>The Area is 16.9 hectares in extent and comprises a group of canal basins, and associated environments and buildings that date primarily from the late eighteenth and nineteenth centuries, and which together form the southern part of the historic core of the Town.</p> <p>The Area contains forty-two Statutory List Entries which relate to approximately seventy five statutorily listed buildings and structures (excluding the numerous listed structures relating to the basins); together with several other buildings and structures of interest, primarily dating from the late eighteenth to early twentieth centuries. Some of the latter have been subject to unsympathetic alterations (such as replacement of windows) but none are beyond restoration, which should be considered in preference to redevelopment. Generally, every effort should be made to retain built fabric in the Area dating from the late eighteenth and nineteenth centuries in particular.</p> <p>Particularly special features are as follows:  Bridge over the River Severn and its arched causeway.  Buildings in Bridge Street, Raven Street and Lichfield Street.  Buildings and structures which were properties of the Staffordshire and Worcestershire Canal Company, including the Canal basins, locks, foot bridges, railings and walls; the Tontine and former stabling at the southern end of Mart Lane; the Canal Maintenance building and attached cottage to north west of the Tontine; terraces of houses in Mart Lane.  Basin retaining and enclosing walls, terrace revetments and riverside quays, in red sandstone and brick.  Clock Warehouse.</p>
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	<p>Inscribed culvert markings on the Tontine. Nos. 19, 20 &amp; 21, &amp; York House, York Street. Red brick walls laid in Flemish bond and poly-chrome brickwork in Cheapside. Sets of railings. Canal-side crane and former warehouse (now a chandlers) in Mart Lane. Narrowly enclosed, twisting footpath leading from Severn Side to Severn Road/Cheapside and the Angel Public House, and its entrance from Severn Side. Narrow road leading from Cheapside to the river, including a retaining wall in blue brick and some original brick paving. Former vinegar works (Cheapside).</p> <p>The area covers a part of town that was established and developed as a result of the construction of the Staffordshire and Worcestershire Canal, and is the only town in England to hold this distinction. This part of the town thus has immense historic value and because of the relationship between town and canal, the character of the Conservation Area is of particularly high importance.</p> <p>The layout and construction of the town during the Georgian period has stamped an unmistakable character and appearance on the urban fabric, which provides a clear lead for the design and layout of further development.</p> <p>Swan Inn, High Street, Stourport WSM12804 Also included on the Local heritage List for Stourport-on-Severn as 56 High Street Swan Hotel ref: SS77:</p> <p>Built soon after 1775 by Richard Hornblower the rear portion was already in place before the canal was cut but its use is not known. An inserted lintel in one of the outer walls suggests an entrance large enough for a horse and cart. The Swan soon became the town's premier coaching inn. Building of brick, slate, and tile. Flat roof extension. Has decorated portico. A prominent land-mark that stands detached. Bay windows and porch to street. The principal building is of historic and aesthetic value, and has moderate significance however the modern utilitarian rear extensions are of no significance.</p>
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<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>2 Vernon Rd SS242, 38 Lickhill Rd SS92 and 18-24 Lickhill Rd SS86-89 are residential properties dating from the late C19 to early C20 and are included on the local heritage list for their historic and aesthetic value contributing to the setting of the Conservation Area.</p> <p>26 Lickhill Rd SS97 is a former chapel included primarily for its communal, aesthetic and historic value and is of medium local significance.</p> <p>1 Lombard St SS102 is a former picture house and features its original shelter to the street. A full assessment of the building has yet to be made but it is considered to have considerable historic and communal value as well as some limited aesthetic values leading to a medium local significance.</p> <p>55 High St SS76; 50-54 High St SS75; 45-47 High St SS74 represent a later phase of development of the town and are included on the local list for their contribution to the streetscape within the Stourport No.2 Conservation Area: they have some aesthetic and historic value.</p> <p>42 High St SS72 represents an example of early C20 Bankers Georgian architecture and derives its significance primarily from its aesthetic value and contribution to the Stourport No.2 Conservation Area.</p> <p>40 High St SS73 represents an example of the earlier phases of development along High Street in the late C19 however it has lost much of its aesthetic qualities and thus is included primarily for its historic significance.</p> <p>The significance of the now demolished buildings within the site at its southern-most tip is not known. Therefore the historic environment potential of this part of the site is unknown.</p> <p>Swan Inn, High Street, Stourport WSM12804:</p> <p>This site lies to the west of the Swan Inn (Hotel) buildings and was formerly a bowling green and thus development on it has potential to impact on that part of the significance of the undesignated heritage asset derived from its setting.</p>
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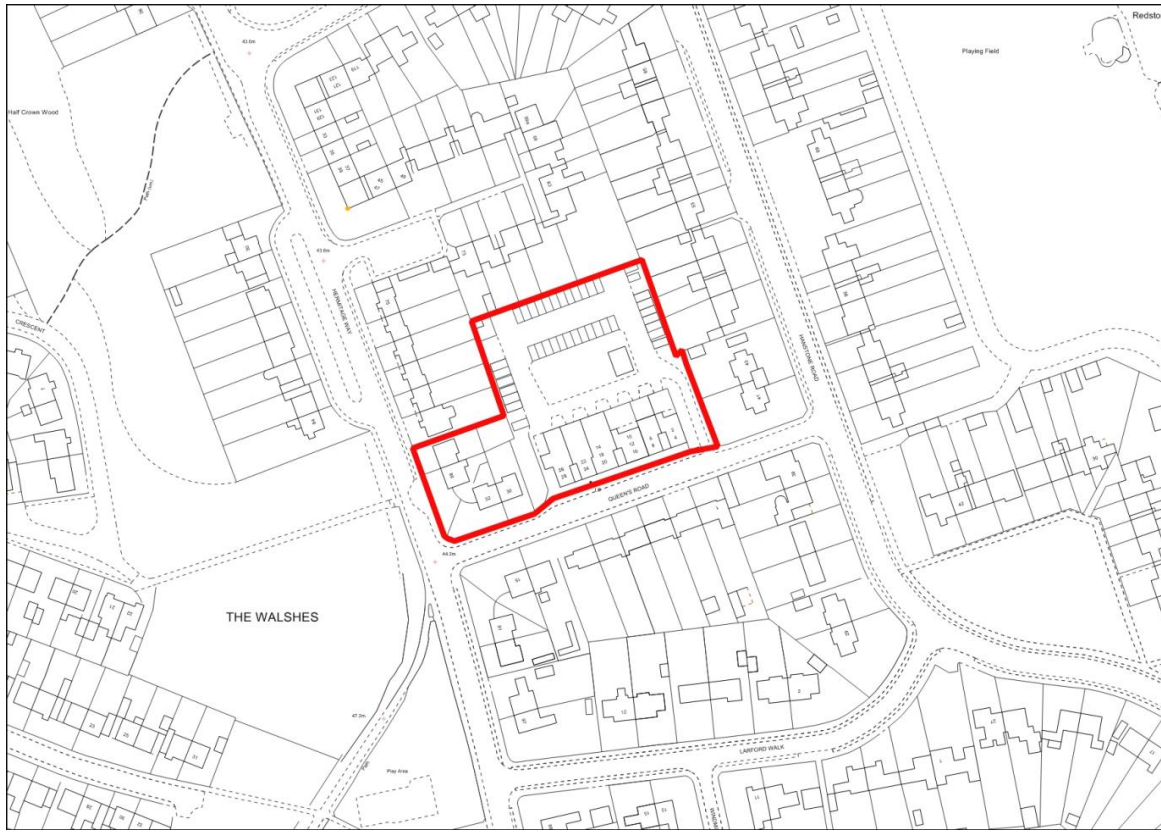
	<p>Stourport No.2 Conservation Area:</p> <p>Development on the site has potential to affect the views towards and from the Conservation Area along Lickhill Road.</p> <p>2 Vernon Rd SS242; 38 Lickhill Rd SS92; 26 Lickhill Rd SS97; 18-24 Lickhill Rd SS86-89 derive a degree of their significance from their hitherto open south-facing aspect, historically opposite a bowling green, which development on the site has potential to compromise.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>Apart from the Swan Hotel building itself and the associated former stables there are no other legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Site allocations policy can consider this.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p>	<p>Yes.</p> <p>There exists the opportunity for new development to enhance the part of the Conservation Area occupied by the extensions to the rear of the hotel and the parking and related businesses on land to the west along Lickhill Road.</p> <p>Removal of the poor quality extensions to the rear of the Swan Hotel will better reveal its original form and construction, and enhance its setting.</p> <p>The form and massing of development should reflect the grain and scale of</p>

<p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>development which has historically taken place to the rear of the High Street of this historic Georgian town, thus building heights should be lower than the buildings within the surrounding Conservation Area.</p> <p>Site allocations policy can consider this.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: AKR/10

Site Name:  
QUEENS ROAD SHOPS

Housing plus  
Commercial/Community Use



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

None known.

2a) What is the significance of the heritage assets?

b) Will the proposed development have any impact on the significance? Please explain.

Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.

No known built heritage assets on site therefore the historic environment potential of the site is unknown.

3a) Are there mitigation measures that could overcome the impact/harm?

b) If yes, explain further including how mitigation could be achieved through the local plan

Yes. Mitigation possible.

No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will

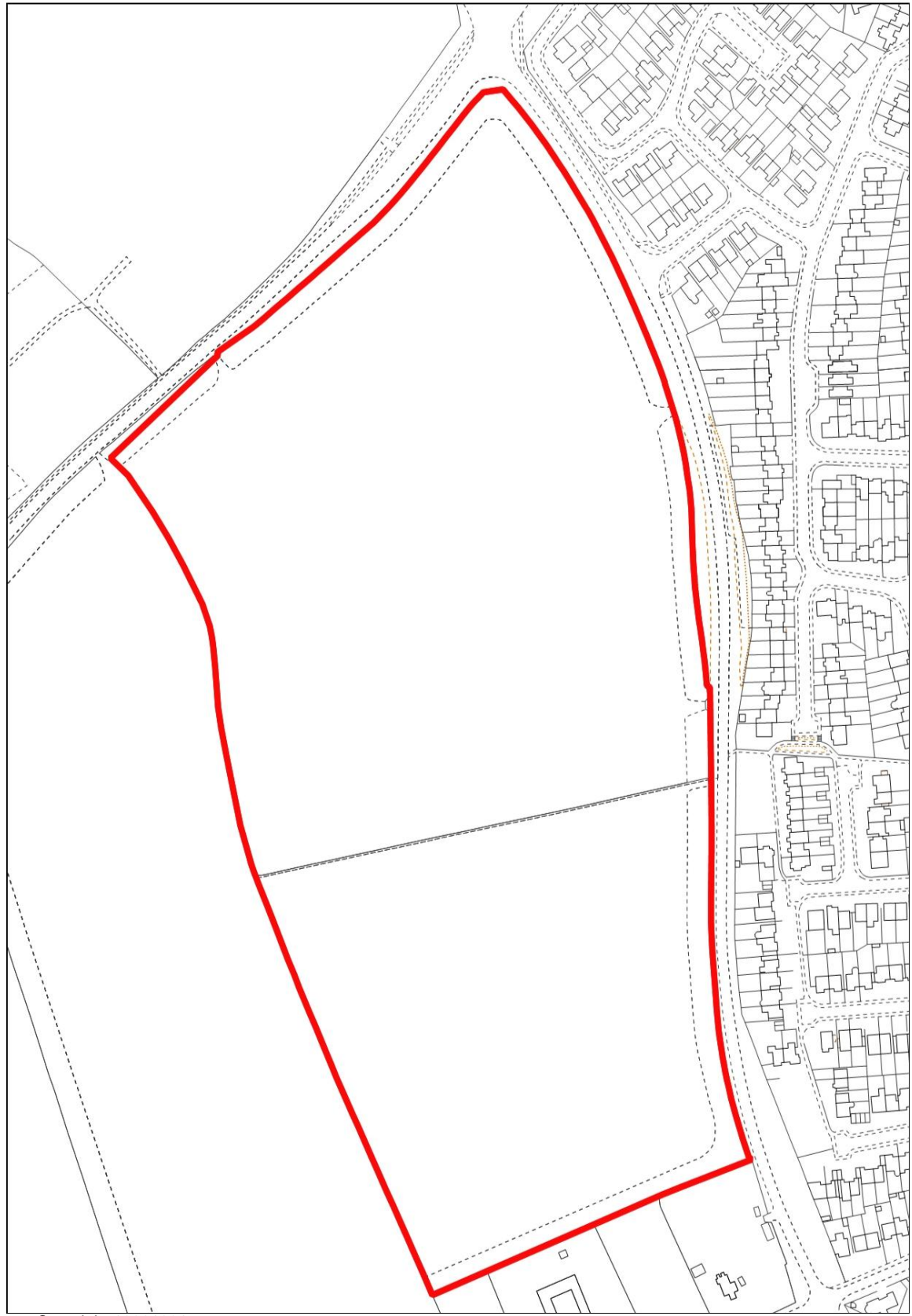
<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: AKR/14

Site Name:  
PEARL LANE

Housing – 200 dwellings only



Crown Copyright 100018317

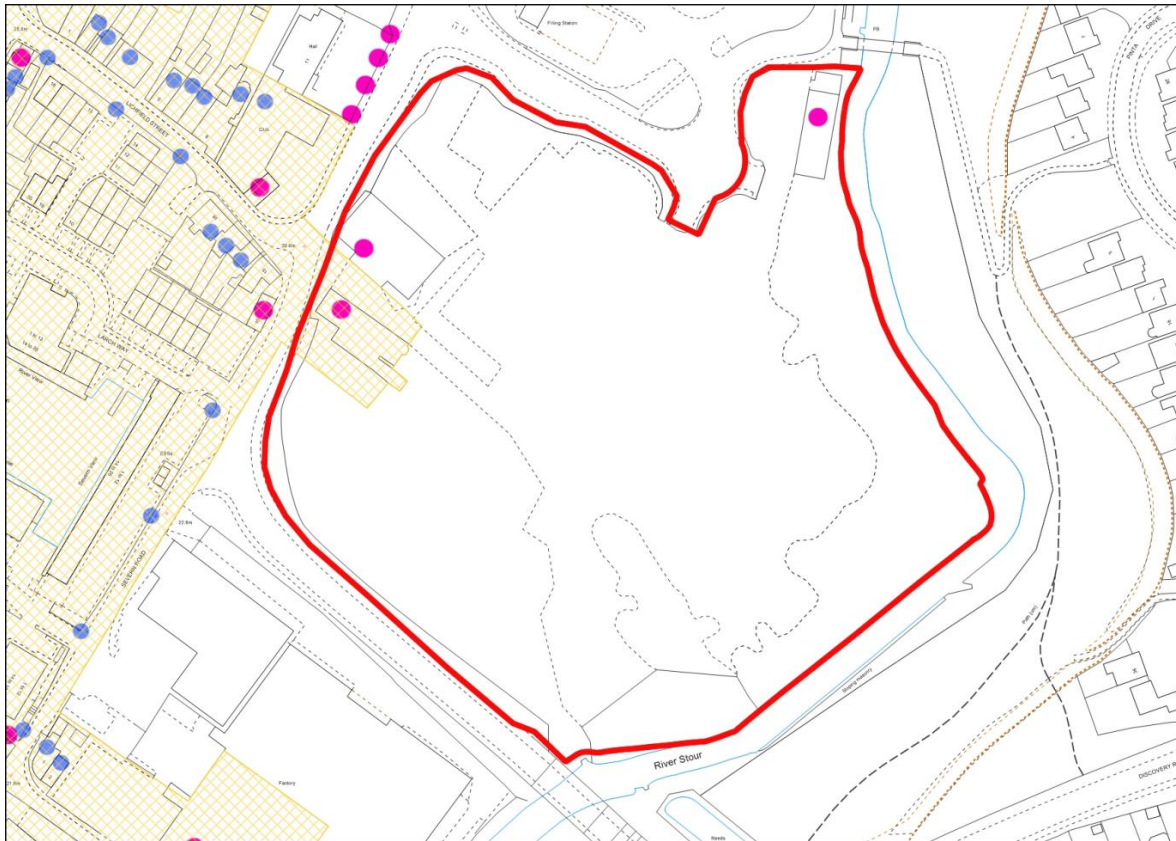
<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Undesignated heritage assets included on the Worcestershire HER:</p> <p>Site of Roman Building, Dunley Road, Areley Kings, Stourport WSM01136;</p> <p>Numerous/extensive scatter of PAS find spots.</p> <p>Designated heritage asset:</p> <p>Tudor Rose Cottage, Dunley Road, Dunley NHLE1082713 Grade II listed;</p> <p>WSM01136 lies within the site boundary within the northern third of the site.</p> <p>NNHLE1082713 lies 215m to the west of the site.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Site of Roman Building, Dunley Road, Areley Kings, Stourport WSM01136: excavations revealed at least six phases in this long-lived Roman site. A series of cobble-filled features were recovered. These were probably post-pads for a large building, perhaps aisled. There are very few Roman agricultural sites in the county and in particular there is little evidence for aisled buildings in the West Midlands, hence the site has high historic value and evidential value, overall significance is high.</p> <p>Tudor Rose Cottage, Dunley Road, Dunley NHLE1082713 is a Grade II listed isolated C17 timber-framed house. It has medium aesthetic and historic value and low evidential communal and evidential value, thus the overall significance is medium.</p> <p>Although there are no above ground heritage assets on site the historic environment potential of the site is moderate to high, particularly within the northern third of the site and thus development may affect below ground archaeology.</p> <p>Development on this site may pose a significant encroachment into the rural landscape and impact upon the isolated</p>

	<p>setting of Tudor Rose Cottage NHLE1082713. The significance of the cottage as being isolated from both Dunley and Stourport will thus be compromised to an extent.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>The relatively flat topography does offer some potential for visual mitigation, which will need to deliver effective screening from receptors located nearby in Dunley (includes the setting of NHLE10827130, New Barns Farm and Astley Cross. The suburban/rural transition will need open space provision and functional buffering of boundaries.</p> <p>It may be difficult to mitigate against disturbance of known buried archaeological remains, the significance of which is high.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for further unknown archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: AKR/20

Site Name:  
CARPETS OF WORTH

Housing plus Community  
Use



Crown Copyright 100018317

1 a) Is the site in proximity to  
Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Designated heritage asset part of which lies  
within the site:

Stourport No.1 Conservation Area containing  
numerous listed buildings lining Lichfield St  
to the west;

Undesignated heritage assets included on  
the Worcestershire Historic Environment  
Record and included within the site  
boundary:

Site of The Union Public House, Lichfield  
Street WSM35047;

Site of Severn Valley Works, Stourport  
WSM19650;

Undesignated heritage assets included on  
the Wyre Forest District Council Local

<p>c) What is the proximity?</p>	<p>Heritage List for Stourport-on-Severn:</p> <p>The White House [formerly Lichfield House] Ref: LLSS223;</p> <p>Gatehouse to carpets of worth Ref: LLSS224;</p> <p>Office Building Ref: LLSS225;</p> <p>All of the above heritage assets are situated within the site boundary.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Stourport No.1 Conservation Area:</p> <p>Stourport-on-Severn No.1 Conservation Area is 16.9 hectares in extent and comprises a group of canal basins, and associated environments and buildings that date primarily from the late eighteenth and nineteenth centuries, and which together form the southern part of the historic core of the Town.</p> <p>The Area contains forty-two Statutory List Entries which relate to approximately seventy five statutorily listed buildings and structures (excluding the numerous listed structures relating to the basins); together with several other buildings and structures of interest, primarily dating from the late eighteenth to early twentieth centuries.</p> <p>Some of the latter have been subject to unsympathetic alterations (such as replacement of windows) but none are beyond restoration, which should be considered in preference to redevelopment. Generally, every effort should be made to retain built fabric in the Area dating from the late eighteenth and nineteenth centuries in particular.</p> <p>Particularly special features are as follows:</p> <ul style="list-style-type: none"> <li>• Bridge over the River Severn and its arched causeway.</li> <li>• Buildings in Bridge Street, Raven Street and Lichfield Street.</li> <li>• Buildings and structures which were properties of the Staffordshire and Worcestershire Canal Company,</li> </ul>

	<p>including the Canal basins, locks, foot bridges, railings and walls; the Tontine and former stabling at the southern end of Mart Lane; the Canal Maintenance building and attached cottage to north west of the Tontine; terraces of houses in Mart Lane.</p> <ul style="list-style-type: none"> <li>• Basin retaining and enclosing walls, terrace revetments and riverside quays, in red sandstone and brick.</li> <li>• Clock Warehouse.</li> <li>• Inscribed culvert markings on the Tontine.</li> <li>• Nos. 19, 20 &amp; 21, &amp; York House, York Street.</li> <li>• Red brick walls laid in Flemish bond and poly-chrome brickwork in Cheapside.</li> <li>• Sets of railings.</li> <li>• Canal-side crane and former warehouse (now a chandler's) in Mart Lane.</li> <li>• Narrowly enclosed, twisting footpath leading from Severn Side to Severn Road/Cheapside and the Angel Public House, and its entrance from Severn Side.</li> <li>• Narrow road leading from Cheapside to the river, including a retaining wall in blue brick and some original brick paving.</li> <li>• Former vinegar works (Cheapside).</li> </ul> <p>The area covers a part of town that was established and developed as a result of the construction of the Staffordshire and Worcestershire Canal, and is the only town in England to hold this distinction. This part of the town thus has immense historic value and because of the relationship between town and canal, the character of the Conservation Area is of particularly high importance.</p>
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	<p>The layout and construction of the town during the Georgian period has stamped an unmistakable character and appearance on the urban fabric, which provides a clear lead for the design and layout of further development.</p> <p>Site of The Union Public House, Lichfield Street WSM35047:</p> <p>This building is assumed to have been on the site of The White House [Lichfield House] and thus no evidence of it remains.</p> <p>Site of Severn Valley Works, Stourport WSM19650:</p> <p>All of the factory buildings have been demolished prior to the construction of the adjacent supermarket, with the exception of those undesignated heritage assets identified individually by the HER and the Local Heritage List.</p> <p>The White House [formerly Lichfield House] Ref: LLSS223:</p> <p>This building appears to date from the mid-19<sup>th</sup> century and may have replaced or incorporated elements of The Union Public House. It was home to Thomas Bond Worth owner of the adjacent factory, and alter used as offices for the factory. The building has considerable historic value, although its aesthetic value has been severely compromised by lack of occupancy leading to general dereliction since the factory was closed. More recently it has suffered from vandalism and arson. Although of medium significance realistically it may be beyond economic repair.</p> <p>Gatehouse to carpets of worth Ref: LLSS224:</p> <p>Constructed in red brick with concrete detailing, in Stripped Byzantine style, this building has considerable aesthetic and historic value being a rare example of surviving Art-Deco influenced architecture in Stourport. The Local List entry is incorrect: it dates from c.1930 and not post-WW2. It is of medium significance and if repaired will contribute positively to new development and the Conservation Area in which it sits.</p>
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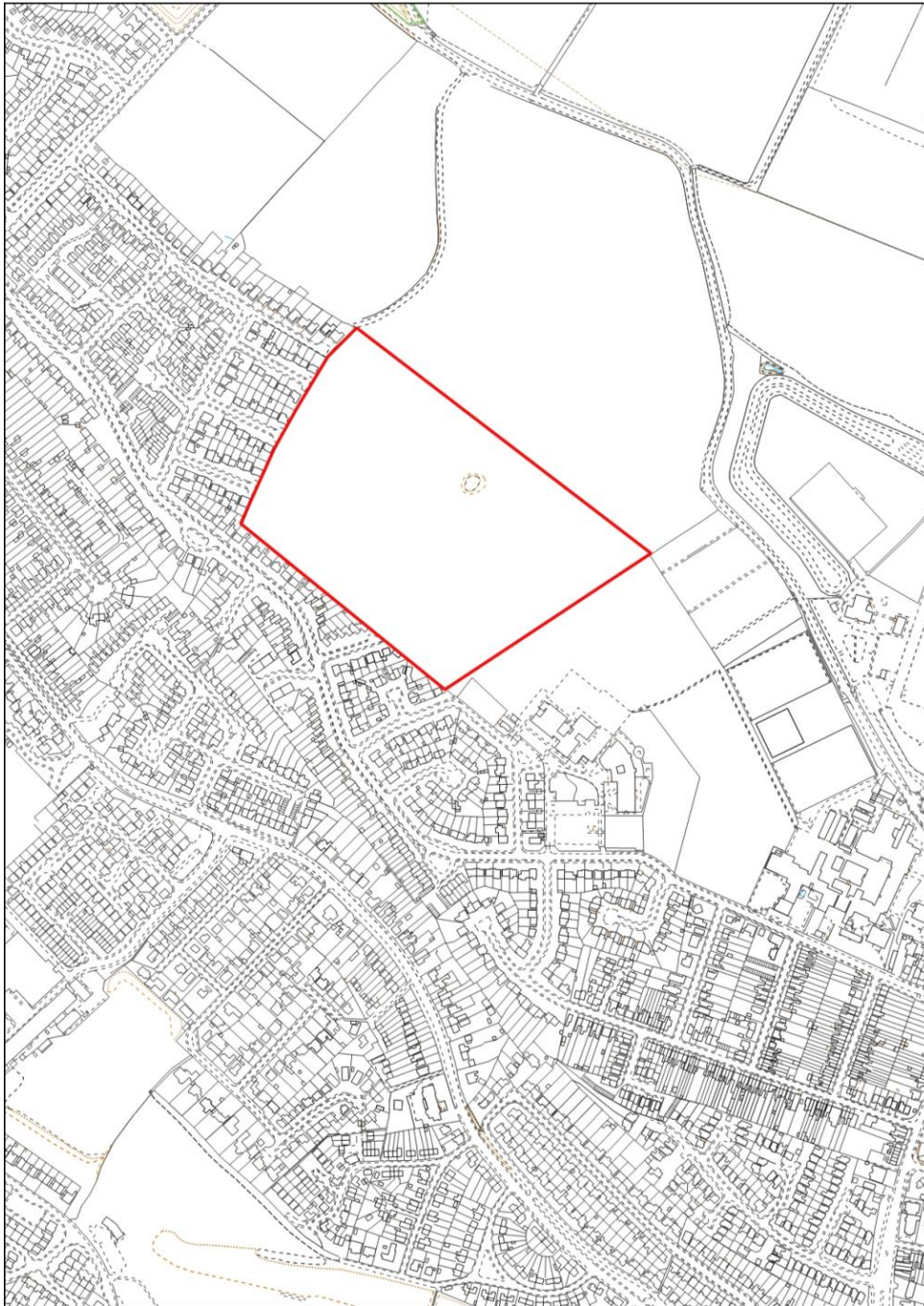
<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Constructed in red brick with concrete detailing, in Stripped Byzantine style.</p> <p>Pilasters at each corner of building, with entrance marked by protruding bay, capped by simple entablature. Concrete stringcourse bands the building. Windows with vertical emphasis and single concrete keystone forming only detail.</p> <p>Office Building Ref: LLSS225:</p> <p>This building although resembling offices was in fact part of the dye-house complex at Bond Worth. It was built prior to 1903 replacing earlier buildings on the site which had formed the first phase of the carpet factory. The building has considerable historic value however its aesthetic value whilst still legible is now reduced by its ruinous state and although the building has a medium significance it is probably beyond repair.</p> <p>Demolition of any of the existing undesignated heritage assets on the site will result in total loss of their significance.</p> <p>Demolition of one or both of the undesignated heritage assets situated within the Stourport No.1 Conservation Area will have a negative impact on the significance of that designated heritage asset.</p> <p>Development on the site has potential to affect views out of the Conservation Area east from Lichfield Street towards the River Stour. It also has potential to impact on views towards the Conservation Area from viewpoints on all sides of the site.</p> <p>The site has a history of industrial use and there is potential for archaeological remains below ground. Development which would involve construction of new foundations could result in loss or fragmentation of surviving archaeological remains.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>This site is visible off several routes leading into and out of the historic core of the town including viewpoints located within Stourport</p>



<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>No.1, Stourport No.2 and Gilgal Conservation Areas.</p> <p>The site is bordered by Stourport No.1 Conservation Area to the west and development on it will be visible from the same Conservation Area to the south.</p> <p>It is essential that consideration is given to retaining some of the undesignated heritage assets contained within the site as these are the sole link to its former use as a carpet factory and the historic industrial origins of Stourport.</p> <p>Any development on the site must reflect and compliment the existing character and quality of the historic buildings to the west, and specifically the former route leading east from Lichfield Street towards the River Stour should be retained.</p> <p>The site offers a major opportunity to buffer and enhance the major GI corridor associated with the River Stour, and opportunities for urban GI connectivity with Severn Road.</p> <p>In terms of mitigating impact on below ground archaeology there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be required by an appropriate professional.</p> <p>Site allocations policy to give consideration to the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p>	<p>Yes.</p> <p>Repair and retention of Gatehouse to carpets of worth Ref: LLSS224 will provide evidence of the former industrial use on the site.</p> <p>Repair and retention of all or part of The White House [formerly Lichfield House] Ref: LLSS223 retains a significant locally listed building with historic links to the Bond Worth</p>

<p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>family. Site allocations policy to give consideration to the above.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: LI/11	Site Name: Land west of former school site Coniston Crescent (formerly part of Golf course)	Housing
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Crown Copyright 100018317

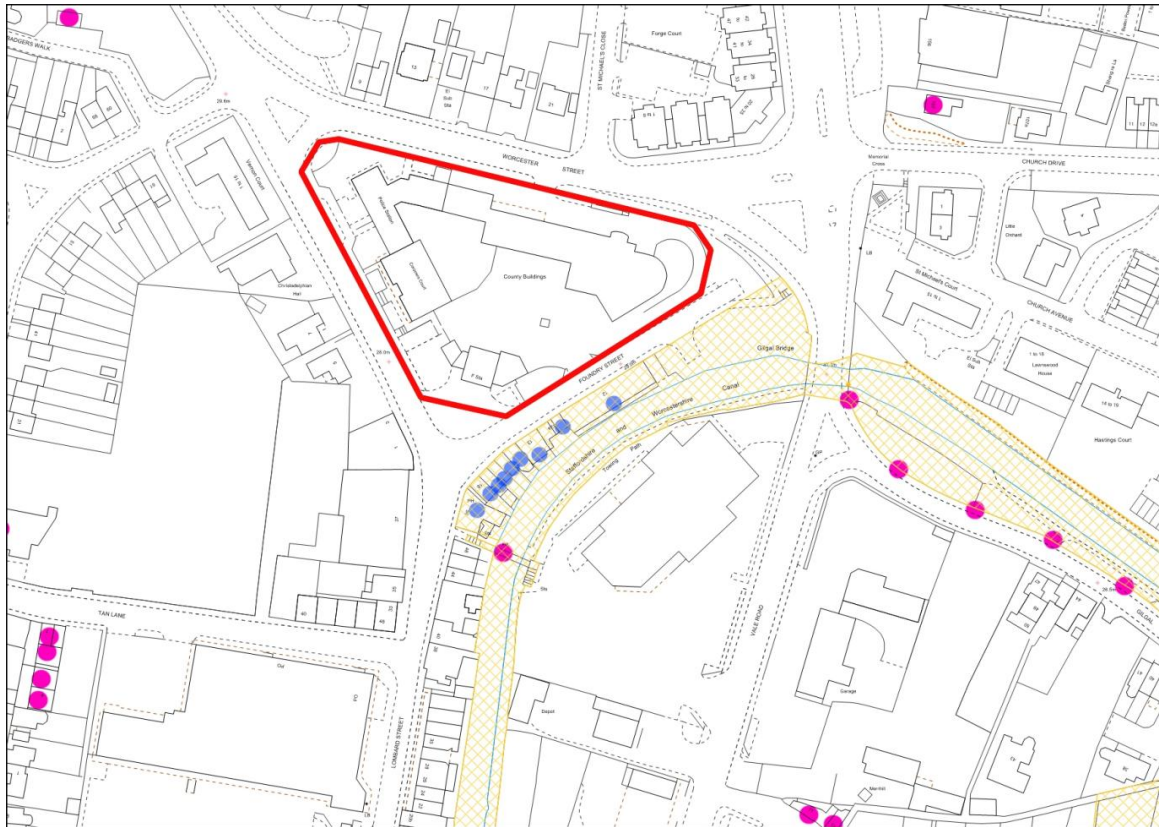
<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p>	<p>None known.</p>
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c) What is the proximity?	
2a) What is the significance of the heritage assets?	Site of sewage farm on 1884 and 1903 Ordnance Survey.  Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.
b) Will the proposed development have any impact on the significance? Please explain.	No known built heritage assets on site therefore the historic environment potential of the site is unknown.
3a) Are there mitigation measures that could overcome the impact/harm?	Yes. Mitigation possible.
b) If yes, explain further including how mitigation could be achieved through the local plan	No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.
c) If mitigation is not possible, are there benefits that justify the development?	Not applicable.
4a) Are there any opportunities for development to enhance an asset or better reveal its significance?	Not applicable.
b) If yes, explain further	
c) Can the Local Plan be amended to achieve the enhancements?	Not applicable.
5) What further work is required?	Unknown potential for archaeology:  Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.

Site Ref: MI/1

Site Name:  
COUNTY BUILDINGS

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Undesignated heritage assets included on the Worcestershire Historic Environment Record within the boundary of the site:

Site of Baldwin's Foundry, Foundry Street, Stourport WSM19640;

Designated heritage assets outside the boundary of the site:

Staffordshire and Worcestershire Canal Conservation Area;

Designated heritage assets included on the National Heritage List for England :

12, FOUNDRY STREET NHLE: 1210052;

<p>c) What is the proximity?</p>	<p>PREMISES OCCUPIED BY JOHN MARTYN CONSTRUCTION LIMITED NHLE: 1209453;</p> <p>13, FOUNDRY STREET NHLE: 1292323;</p> <p>14, FOUNDRY STREET NHLE: 1210087;</p> <p>15-18, FOUNDRY STREET NHLE: 1292640;</p> <p>THE RISING SUN PUBLIC HOUSE NHLE: 1209464;</p> <p>The Staffordshire and Worcestershire Canal Conservation Area is 8m SW of the site;</p> <p>12, FOUNDRY STREET NHLE: 1210052 is located 8m SW of the site;</p> <p>PREMISES OCCUPIED BY JOHN MARTYN CONSTRUCTION LIMITED NHLE: 1209453 is located 8m SW of the site;</p> <p>13, FOUNDRY STREET NHLE: 1292323 is located 8m SW of the site;</p> <p>14, FOUNDRY STREET NHLE: 1210087 is located 8m SW of the site;</p> <p>15-18, FOUNDRY STREET NHLE: 1292640 are located 20m SW of the site;</p> <p>THE RISING SUN PUBLIC HOUSE NHLE: 1209464 is located 30m S of the site;</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Site of Baldwin's Foundry, Foundry Street, Stourport WSM19640:</p> <p>Foundry shown on First Edition Map of 1884 but not on map of 1802; Foundry ceased production in 1956; used as a munitions factory producing cast-iron hand-grenade bodies during the Second World War. Site developed as County Buildings in 1970. Prior to that it also contained a school and dense pre-1875 housing along Worcester Rd.</p> <p>No known built heritage assets on site remain therefore the historic environment potential of the site is unknown.</p>

	<p>The Staffordshire and Worcestershire Canal Conservation Area:</p> <p>The canal and its immediate environment, were designated a Conservation Area in 1978 and reviewed in 2007, with minor changes made to the boundary of the Conservation Area. The Canal was planned by the famous engineer James Brindley and completed in 1772. It links the Rivers Trent and Severn via the industrial Midlands, and forms an important historic feature running north-south for over fourteen kilometres through the District.</p> <p>Associated with the Canal are several bridges, locks, basins, cottages, warehouses and walls, together with the towpath; which form part of its special interest. The principal building materials are red brick, particularly associated with the earlier canal buildings and structures; and all buildings have pitched roofs, generally with grey slates. The corners to buildings are often curved, in order to facilitate turning by wagons. Walls are always capped with semi-circular coping to help reduce wear on ropes and to shed rainwater. Iron metal work (painted black) is a feature of the locks and some narrow bridges. The wider bridges are constructed of red brick and utilise a semi-elliptical arch structure.</p> <p>There are many trees and shrubs along the canal side that add to the character of the Conservation Area.</p> <p>The Canal is an important leisure resource, adding to its profile. In this respect, the water way is a popular route for leisure boats, with a major complex of basins located at its southern end in Stourport-on-Severn. The towpath is a popular route for walking and cycling.</p> <p>The Canal Conservation Area consists of four fairly distinct sections:      Attractive, well wooded, northern section where it has been cut into sandstone cliffs to maintain its course along the contour, and passes through two locks and a tunnel. Bridge No. 25 is a Listed Building;      Urban section past the carpet mills through the old industrial heart of Kidderminster;      Section parallel to the lower reaches of the</p>
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<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>River Stour in more open landscape; and Section within the Stourport-on-Severn Town Centre where the Canal joins the River Severn via a series of basins. This part of the Canal is covered by separate Conservation Area designations.</p> <p>12, FOUNDRY STREET NHLE: 1210052</p> <p>This former warehouse for Baldwin's Foundry is Mid C19 and is primarily included for its contribution to the townscape – Group Value, as well as its aesthetic and historic interest, and situation adjacent to the canal. It is of medium significance.</p> <p>PREMISES OCCUPIED BY JOHN MARTYN CONSTRUCTION LIMITED NHLE: 1209453:</p> <p>Originally 2 dwellings. c1820, but substantially modified. Included for historic, aesthetic and group value contributing to a medium significance.</p> <p>13, FOUNDRY STREET NHLE: 1292323:</p> <p>House. c1820. Included for historic, aesthetic and group value contributing to a medium significance.</p> <p>14, FOUNDRY STREET NHLE: 1210087:</p> <p>House. c1820. Included for historic, aesthetic and group value contributing to a medium significance.</p> <p>15-18, FOUNDRY STREET NHLE:</p> <p>Terrace of 4 houses, formerly including shops, one of which remains. c1820. Included for historic, aesthetic and group value contributing to a medium significance.</p> <p>THE RISING SUN PUBLIC HOUSE NHLE: 1209464:</p> <p>Public House, probably built as two dwellings. Early C19. Included for historic, aesthetic and group value contributing to a medium significance.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
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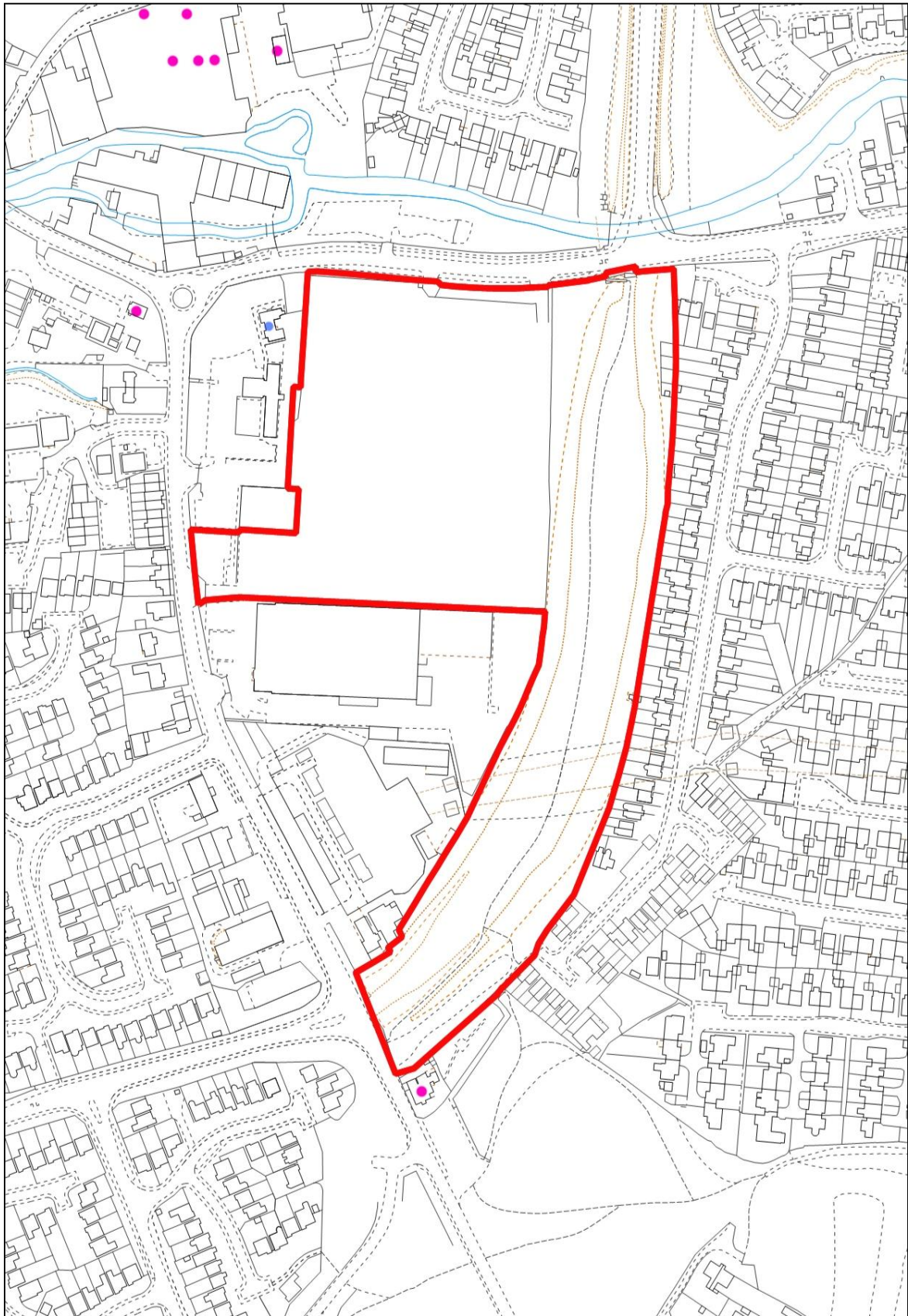
	<p>Development on the site has potential to impact on the setting of the group of designated heritage assets on the east side of Foundry Street which are all listed buildings set within the Staffs and Worcs Canal Conservation Area. This group is significant due to its degree of surviving architecture and has thus been included within the Conservation Area.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets on this site to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>It may be considered appropriate to fully record the 1970 complex on the site if this is to be redeveloped.</p> <p>A street frontage to Foundry Street should be reintroduced and its scale, form and massing should respect the scale and orientation of the designated heritage assets lining Foundry Street.</p> <p>Site allocations policy can consider this.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Not known.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be</p>

	required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.

Site Ref: MI/3

Site Name:  
PARSONS CHAIN

C2, C3 and Employment



Crown Copyright 100018317



<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Site of branch line to Power Station Stourport WSM 15019:</p> <p>This is the remnant of a branch line from the Severn Valley Railway built to serve Stourport Power Station and which ran along a high embankment at the eastern boundary of the site. The embankment has considerable historic significance because it was constructed at the outbreak of World War 2, the rail link opening in 1940.</p> <p>Old Rose and Crown Ref SS260:</p> <p>This is a mid-C19 public house set on the main road with sash windows and other historic features. Include for aesthetic and historic value.</p> <p>HOUSE AT PARSONS CHAIN COMPLEX Grade II NHLE 1292641:</p> <p>The house has had its setting compromised in the past, and development close to it has potential to be detrimental to its significance.</p> <p>Site of branch line to Power Station Stourport WSM 15019:</p> <p>Removal of the embankment would result in total loss of significance.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>When considering development at the NW corner of the site the location and setting of NHLE1292641 should be taken into consideration. Restricting the height of development here and locating it as far from the boundary with NHLE1292641 may reduce the harm to its setting to acceptable levels.</p> <p>When considering development at the SE part of the site the retention of the embankment (Site of branch line to Power Station Stourport WSM 15019) should be considered, although this may depend upon its stability and the level of risk such a structure poses to nearby residential properties if not maintained as its designers intended.</p>

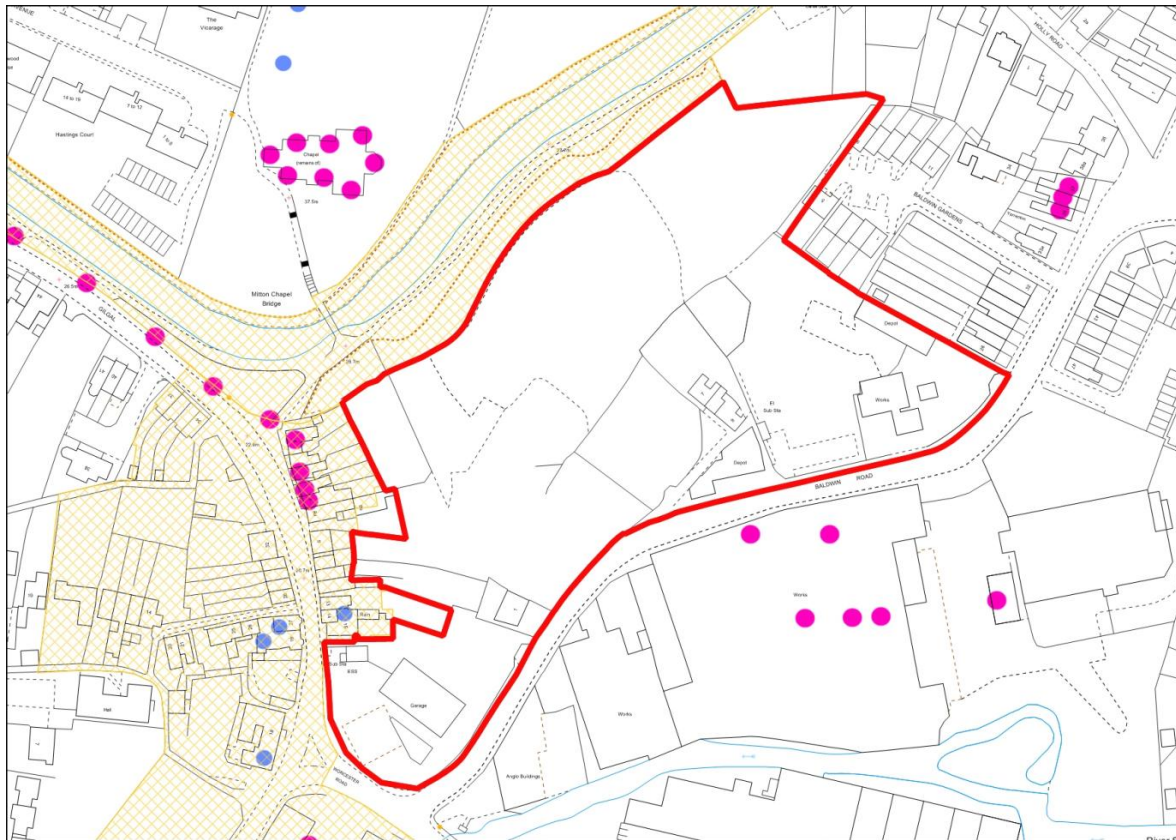
<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>If it is considered necessary to remove the embankment then a total loss of significance is expected.</p> <p>The NPPF allows decision makers to consider the benefits associated with a development which causes less than substantial harm to an undesignated heritage asset. This can be taken into consideration within the site allocations policy.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>If development is deemed to be acceptable in principle then the site will require a desk based archaeological assessment to identify the potential for archaeology (below the demolished chain works) and inform discussions about the scope and scale of any preservation and mitigation.</p> <p>Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance.</p> <p>Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: MI/5

Site Name:  
BALDWIN ROAD

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

The site contains undesignated heritage assets included on the Worcestershire Historic Environment Record.

Designated heritage assets included on the National Heritage List for England:

15, GILGAL Grade II NHLE: 1210089;

Designated heritage assets:

Gilgal Conservation Area;

Staffordshire and Worcestershire Canal Conservation Area;

<p>c) What is the proximity?</p>	<p>Undesignated heritage assets included on the Worcestershire HER:</p> <p>Site of Buildings, Baldwin Road, Stourport on Severn WSM45982; WSM45984; WSM45983; WSM45987; WSM45988; 6 and 7 Baldwin Road, Stourport on Severn WSM45981;</p> <p>Undesignated heritage assets included on the WFDC Local Heritage List for Stourport-on-Severn:</p> <p>4 Gilgal WFDC Ref: LLSS63;</p> <p>6, 7 and 8 Gilgal Ref: LLSS64;</p> <p>Works, Baldwin Road Ref: LLSS09;</p> <p>15, GILGAL Grade II NHLE: 1210089 is adjacent to the southern boundary of the site.</p> <p>Gilgal Conservation Area is adjacent to the western boundary of the site.</p> <p>Staffordshire and Worcestershire Canal Conservation Area is adjacent to the northern boundary of the site.</p> <p>Site of Buildings, Baldwin Road, Stourport on Severn WSM45982; WSM45984; WSM45983; WSM45987; WSM45988; is within the site boundary.</p> <p>6 and 7 Baldwin Road, Stourport on Severn WSM45981 lie within the site boundary.</p> <p>4 Gilgal WFDC Ref: LLSS63 lies immediately adjacent to the west boundary of the site.</p> <p>6, 7 and 8 Gilgal Ref: LLSS64 lie immediately adjacent to the west boundary of the site.</p> <p>Works, Baldwin Road Ref: LLSS09 lies 9m to the S of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>15, GILGAL Grade II NHLE: 1210089:</p> <p>This is a prominent listed building within the Gilgal Conservation Area. Its frontage faces south (and the adjacent petrol station). It is included on the list for its aesthetic and historic values contributing to a medium</p>



	<p>significance within the Conservation Area.</p> <p>Gilgal Conservation Area:</p> <p>The Gilgal Conservation area is 2.6 hectares in extent and comprises a group of buildings and associated environments that date from the seventeenth to nineteenth centuries, and form the oldest part of the Town.</p> <p>In the east the Gilgal Conservation Area covers Lower Mitton which, prior to the 1760s, was a small hamlet and the only settlement in the vicinity; being located at a historic crossing point of the River Stour. In the late 1760s the Staffordshire and Worcestershire Canal was constructed around the west of the hamlet in order to link the Rivers Trent (far to the north) and Severn (nearby to the south). Lower Mitton continued to be the favoured crossing point of the Stour, but the canal and its terminus with the River Severn provided an environment for trade and commerce that instigated the foundation, laying out and construction of the adjoining town of Stourport-on-Severn.</p> <p>In some respects it is difficult to appreciate the historic and architectural interest of Gilgal Conservation Area. This is not because such interest does not exist, but because of the detracting effects of vehicular traffic and the erosion of traditional architectural features. In particular, there has been widespread replacement of historic windows with modern uPVC double-glazing, replacement of doors, rendering or painting of walls, and unsympathetic front extensions.</p> <p>Away from the roads, the bank-side to the west of Gilgal and its footpaths retain historic integrity. The footpaths wind between private gardens, which help to abate the noise and fumes of traffic. Elsewhere there are basic elements such as scale, massing, original layout, historic fabric, rooflines, and physical relationship to the adjoining Georgian town and Canal, which are of interest, and which give clues to the evolution of the Area. The Area has the potential to be a meaningful representation of the past, provided thought, will and positive measures are exercised. At present the Conservation Area is on Historic England's "At Risk" register. The Area's</p>
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	<p>principal significance lies within its historic origins and examples of 18<sup>th</sup> and early 19<sup>th</sup> century architecture.</p> <p>Staffordshire and Worcestershire Canal Conservation Area:</p> <p>The significance of the Staffordshire and Worcestershire Canal Conservation Area is summarised as follows:</p> <p><i>“The Canal was planned by the famous engineer James Brindley and completed in 1772. It links the Rivers Trent and Severn via the industrial Midlands, and forms an important historic feature running north-south for over fourteen kilometres through the District.</i></p> <p><i>Associated with the Canal are several bridges, locks, basins, cottages, warehouses and walls, together with the towpath; which form part of its special interest. The principal building materials are red brick, particularly associated with the earlier canal buildings and structures; and all buildings have pitched roofs, generally with grey slates. The corners to buildings are often curved, in order to facilitate turning by wagons. Walls are always capped with semi-circular coping to help reduce wear on ropes and to shed rainwater. Iron metal work (painted black) is a feature of the locks and some narrow bridges. The wider bridges are constructed of red brick and utilize a semi-elliptical arch structure.</i></p> <p><i>There are many trees and shrubs along the canal side that add to the character of the Conservation Area.</i></p> <p><i>The Canal is an important leisure resource, adding to its profile. In this respect, the water way is a popular route for leisure boats, with a major complex of basins located at its southern end in Stourport-on-Severn. The towpath is a popular route for walking and cycling.</i></p> <p><i>The Canal Conservation Area consists of four fairly distinct sections:</i></p> <p><i>Attractive, well wooded, northern section</i></p>
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*where it has been cut into sandstone cliffs to maintain its course along the contour, and passes through two locks and a tunnel. Bridge No. 25 is a Listed Building; Urban section past the carpet mills through the old industrial heart of Kidderminster; Section parallel to the lower reaches of the River Stour in more open landscape; and Section within the Stourport-on-Severn Town Centre where the Canal joins the River Severn via a series of basins. This part of the Canal is covered by separate Conservation Area designations.”*

At this location adjacent to the Gilgal Conservation Area the canal Conservation Area has high evidential, historical, aesthetic and communal value and overall it is of high significance.

Site of Buildings, Baldwin Road, Stourport on Severn WSM45982; WSM45984; WSM45983; WSM45987; WSM45988:

These buildings (dwellings) appear on 19<sup>th</sup> century mapping and some appear on the 1999 aerial photography. Their significance is now largely potentially evidential: as the site is redeveloped further evidence of their form and functions may be revealed.

6 and 7 Baldwin Road, Stourport on Severn WSM45981:

Now a pair of cottages but shown as a row of four on the 1884 map and believed to pre-date 1850. Their principal significance is that they survive in a relatively isolated location and have some aesthetic and historic value contributing to a low significance.

4 Gilgal WFDC Ref: LLSS63:

This is the first building on the eastern side of Gilgal approaching from the north, included on the local list for its contribution to the street-scene, historic and aesthetic value contributing to a low significance.

6, 7 and 8 Gilgal Ref: LLSS64:

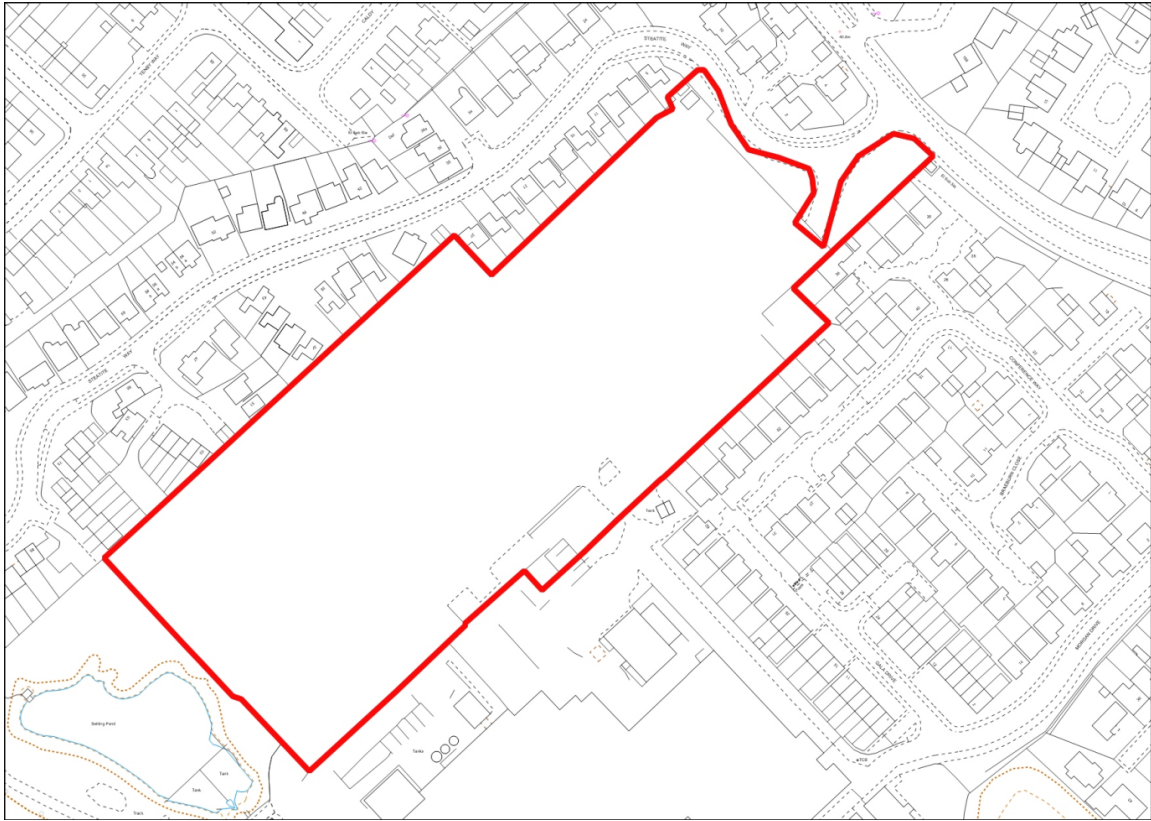
These are all early-mid C19th terraced

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>properties. 7 &amp; 8 built as a pair, whilst 6 built as an individual property. All of similar design and construction, with red brick , now painted, plain clay tiles to roof. Archway between 6 &amp; 7 leading to rear of properties. All front elevations have been altered, with modern windows and doors. Included for Group value, and for historic interest, resulting in a low significance.</p> <p>Works, Baldwin Road Ref: LLSS09:</p> <p>The works is a series of four industrial buildings. All date to late C19th/ Early C20th. All constructed in polychrome brickwork. Principle building is of 3-storeys, with large steel windows to all elevations, with brick cills and stone/concrete lintels. Two other buildings attached to this, with barrel roofs, with roof-lanterns running length of buildings. Final building is set aside from rest, at eastern edge of site, with barrel roof, and roof lantern. This building is smaller than the others mentioned. Aerial photographs indicate that these type of buildings run along the depth of the site, behind the principle building. The works is included for its communal and historic value, and some aesthetic values in the materials used in its construction resulting in a low/medium significance.</p> <p>15 Gilgal NHLE 1210089 and Gilgal Conservation Area:</p> <p>The southern-most part of the site (currently occupied by the petrol station) has the most potential to impact on the significance of both 15 Gilgal and the Gilgal Conservation Area as this is a highly visible site located on a busy traffic junction. It is also very close to the river. Historically this site was left undeveloped as a meadow (one assumes because it was prone to flooding). Development here has the potential to impact on the setting of 15 Gilgal which faces the site and have an impact on the character and appearance of the Conservation Area as viewed from the south.</p> <p>Staffordshire and Worcestershire Canal Conservation Area:</p> <p>The part of the site adjacent to the Conservation Area has never been</p>
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	<p>previously developed. The Area at this location is thus tranquil with wooded northern slopes leading down from the graveyard of St. Michael's Church. Development here has potential to alter the character of the Conservation Area as perceived by those using it as a waterway and also those on foot or cycle as the tow path runs along the southern side of the canal adjacent to the site boundary.</p> <p>6 and 7 Baldwin Road, Stourport on Severn WSM45981:</p> <p>Should the proposed development of the site involve the demolition of these cottages this will result in substantial harm and complete loss of significance.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>Development at the southern part of the site should follow the curve of the road but should be set well back so as to avoid building "in front" of the principal elevation of 15 Gilgal. There is an opportunity here for a building to turn the corner into Baldwin Road.</p> <p>Development on the western boundary of the site should respect the scale and proportions of the properties on Gilgal and not overwhelm them by buildings taller than those already lining Gilgal.</p> <p>Development along Baldwin Road could reflect the industrial scale of the works opposite but it will be necessary to design to avoid a canyon effect.</p> <p>Development should avoid demolition of the historic cottages at 6 &amp; 7 Baldwin Road and instead incorporate these into the scheme, including their curtilage and access.</p> <p>In relation to the Canal Conservation Area there should be a green infrastructure buffer between the development and the canal to reduce the impact on the character of the Canal as it turns the corner under Mitton Chapel Bridge.</p> <p>Site allocations policy to reflect the above.</p>

c) If mitigation is not possible, are there benefits that justify the development?	Not applicable.
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Development adjacent to 15 Gilgal could if sensitively designed result in a major enhancement to the appearance of the Conservation Area (by removing the petrol station). Development on this site should avoid compromising the setting of 15 Gilgal, and seek to improve the setting.</p> <p>Yes, site allocations policy to reflect the above.</p>
5) What further work is required?	<p>If development is deemed to be acceptable in principle then the site will require a desk based archaeological assessment to identify the potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation.</p> <p>Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance.</p> <p>Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: MI/6	Site Name: STEATITE WAY	Housing
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>No known heritage assets on the site.</p> <p>Undesignated heritage asset included on the Worcestershire HER:</p> <p>Steatite and Porcelain Products Ltd WSM28677;</p> <p>WSM28677 lies 30m SW of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.</p> <p>WSM28677: during WW2 the factory produced porcelain components for aircraft radar sets. The buildings have low historic value and negligible communal, aesthetic and evidential values, thus the overall significance is low.</p>

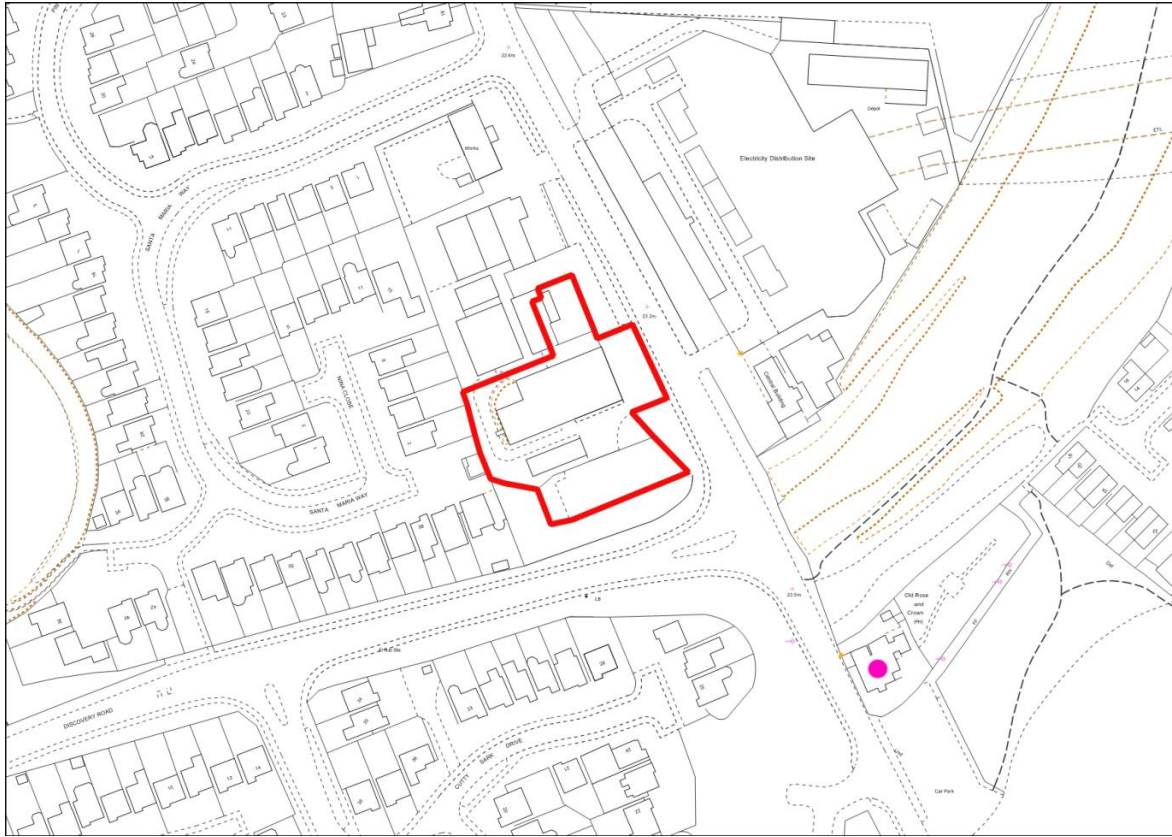
<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p> <p>Development on the site will affect the setting of the remaining buildings of WSM28677 but the impact on significance will be negligible.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology:</p> <p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: MI/7

Site Name:  
WORCESTER ROAD CAR  
SALES (SOUTHERN PART)

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

No.

No designated or undesignated historic assets recorded on the site.

Not applicable.

2a) What is the significance of the heritage assets?

b) Will the proposed development have any impact on the significance? Please explain.

None known. Historically part of Hartlebury Heath, this is nonetheless a small, previously developed site that should be considered of low archaeological potential.

No known built heritage assets on site which was historically part of Hartlebury Heath. This is nonetheless a small, previously developed site that should be considered of low archaeological potential.

3a) Are there mitigation measures that could overcome the impact/harm?

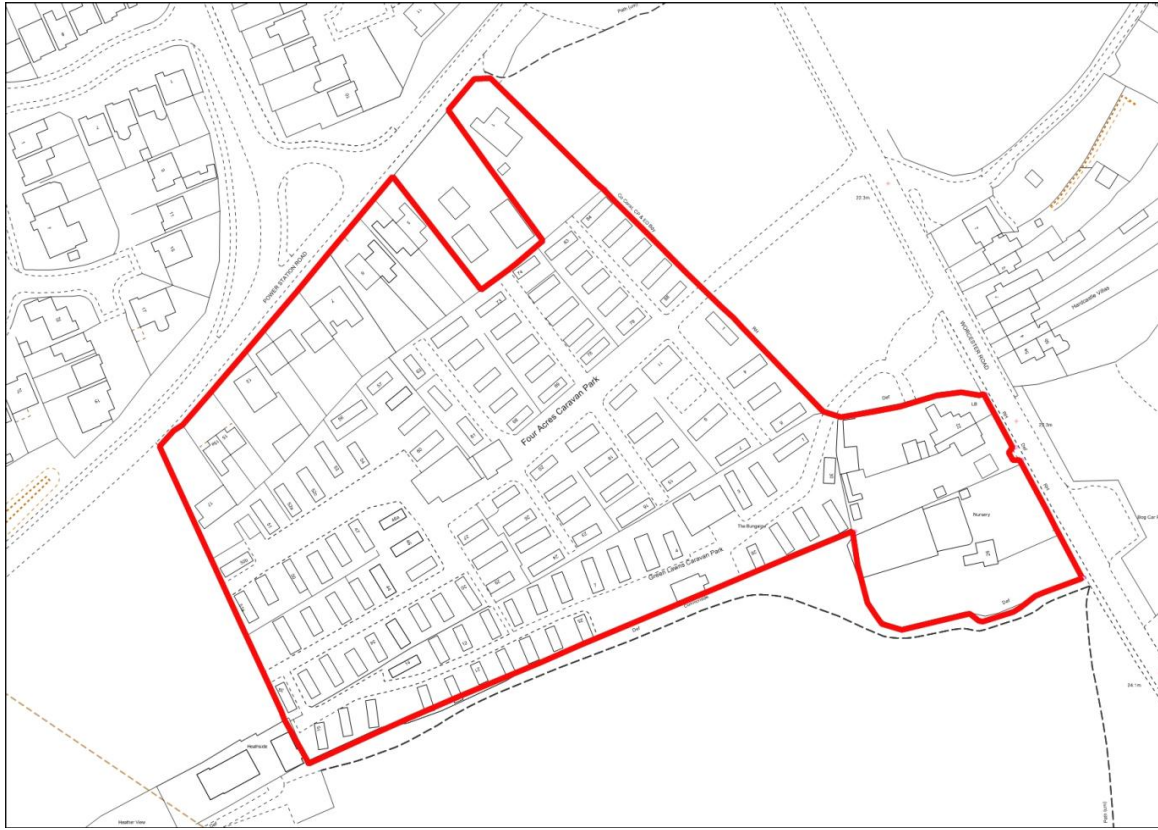
Yes. Mitigation Possible.

<p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to confirm low potential for archaeology. However if it is considered development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: MI/10

Site Name:  
FOUR ACRES ADR

Caravan Site



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

The site contains undesignated heritage assets included on the Worcestershire HER:

Warrener's Cottage, Hartlebury Common, Stourport WSM15015;

House Plot - Warrener's Cottage at SO81877067, Hartlebury Common WSM32716;

House Plot, formerly called Poor House, Hartlebury Common WSM32720;

Rope Walk at SO81597056 to SO81847068, Hartlebury Common WSM32703;

c) What is the proximity?

The above undesignated heritage assets lie within the site boundary.



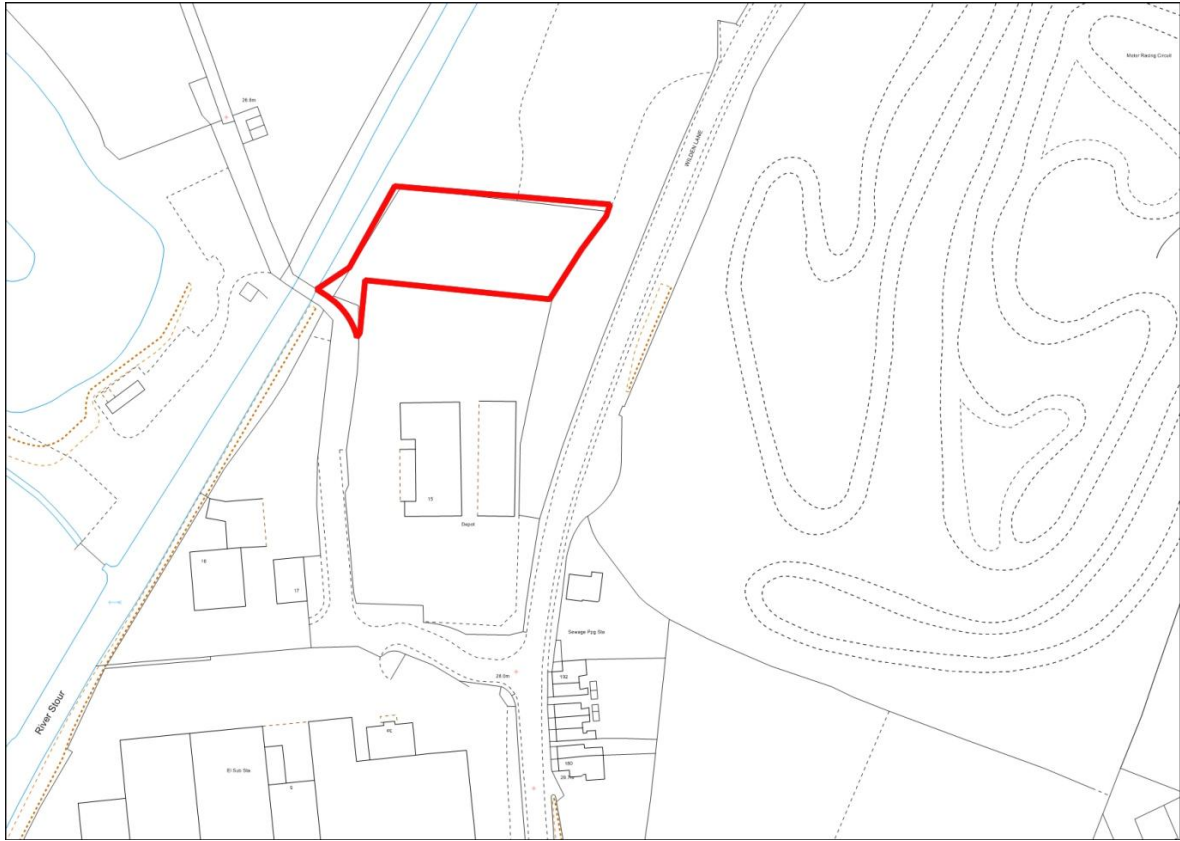
<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Site allocation policy to take the above into account.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for below ground archaeology:</p> <p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>WSM53964: Former farmhouse and some barns survive and have aesthetic and historic value with low/medium significance. These buildings are recorded on the 1838 tithe mapping, although they may have been extended and rebuilt later in the 19<sup>th</sup> century.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>Structural assessment of the surviving buildings and building recording. Provided the structures are suitable for conversion retain the heritage assets and incorporate into any scheme of development on the remainder of the site.</p> <p>Yes. Site allocations policy to reflect the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Removal of any non-historic structures on the site and re-landscaping to improve the setting of the undesignated heritage assets in the context of new development.</p> <p>Yes. Site allocations policy to reflect the above.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for below ground archaeology and inform discussions about the scope and scale of any preservation and mitigation. A scheme of building recording is required for the surviving above-ground heritage assets.</p> <p>Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: MI/18	Site Name: NORTH OF WILDEN INDUSTRIAL ESTATE	Employment
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>No known heritage assets within the site.</p> <p>Undesignated heritage assets included on the Worcestershire HER:</p> <p>Line of older course of River Stour also called 'The Canal' WSM34452;</p> <p>Old Outlet from Wilden Pool to River Stour WSM34451;</p> <p>WSM34452 and WSM34451 lie immediately to the west of the site boundary.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.</p>

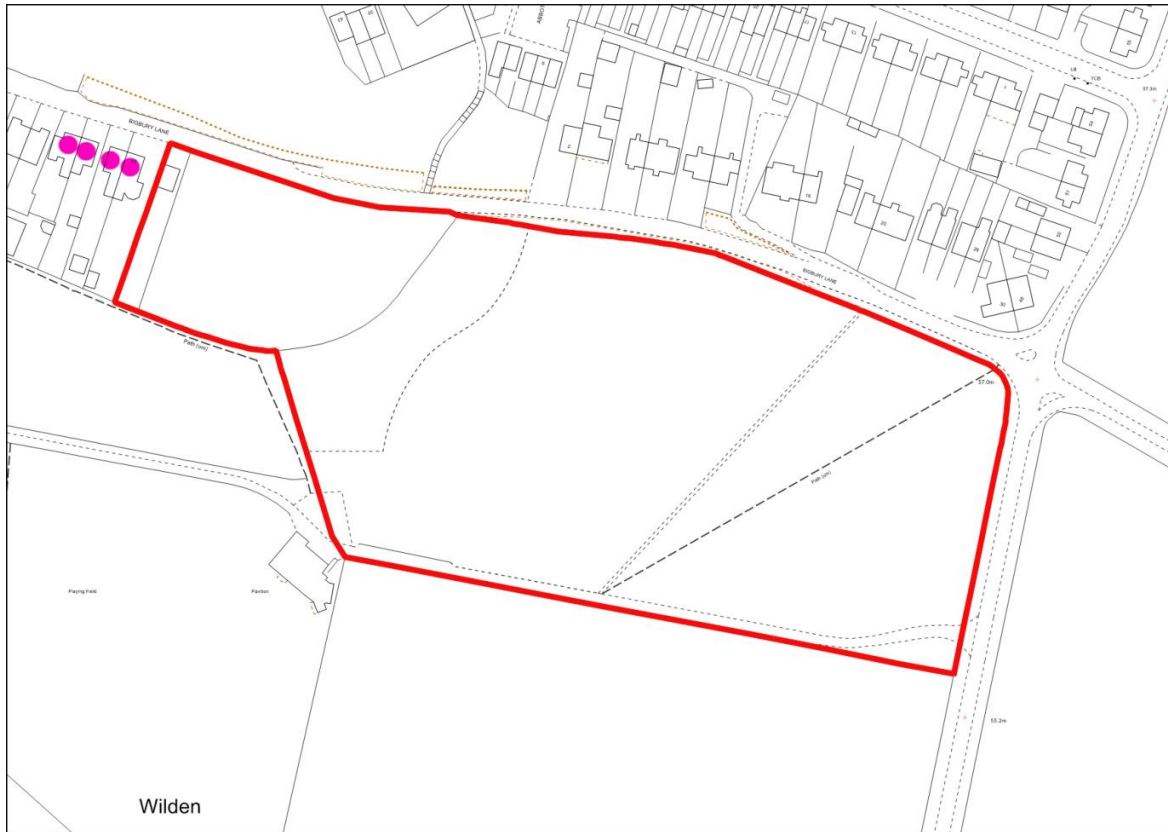


<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Unknown significance of area of palaeo-environmental interest to the west of the site.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation Possible.</p> <p>In terms of mitigating impact on unknown below ground archaeology there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Potential for archaeology:</p> <p>Site will require a desk based archaeological assessment to identify the potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: MI/21

Site Name:  
WILDEN TOP ADR

Existing ADR



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Undesignated heritage assets within the site boundary included on the Worcestershire Historic Environment Record:

Wilden Warren on Hartlebury Common (part of Hartlebury Warren WSM48473;

Ditch, South of Bigbury Lane, Stourport-on-Severn WSM67647;

c) What is the proximity?

On site.

2a) What is the significance of the heritage assets?

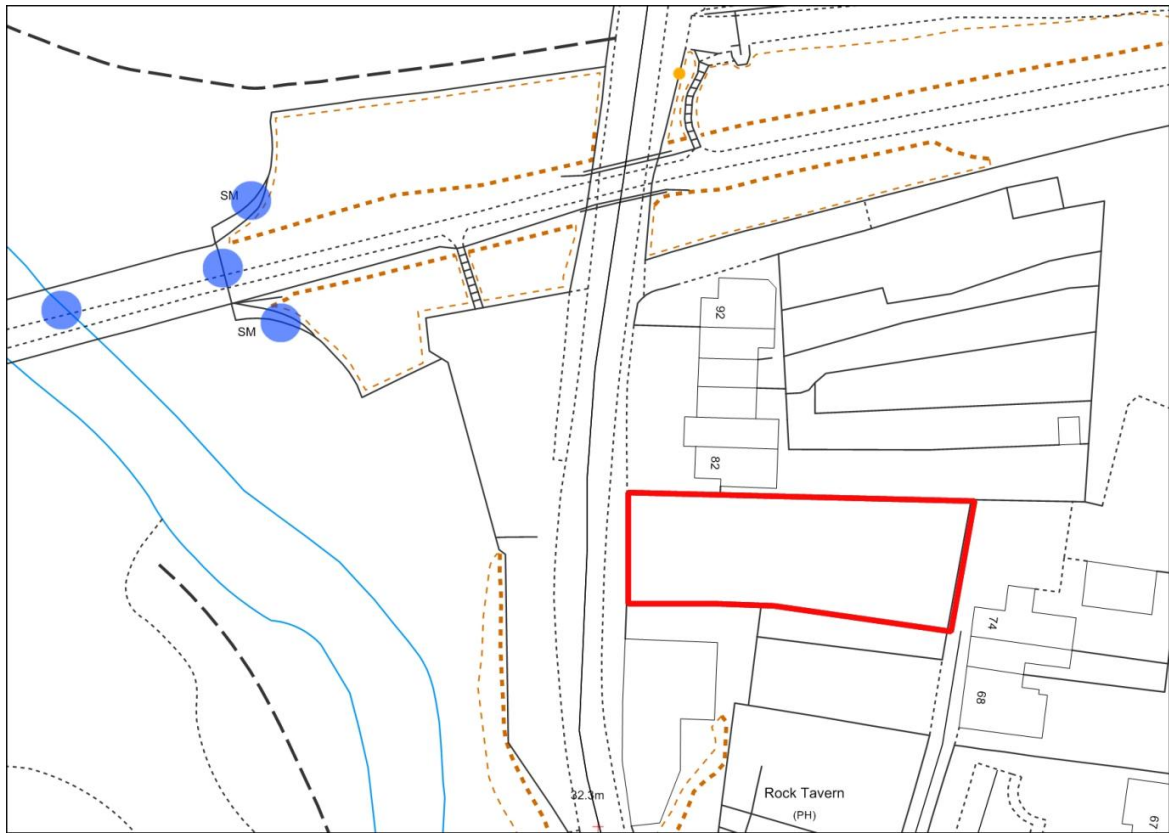
Wilden Warren on Hartlebury Common (part of Hartlebury Warren WSM48473:

The warren was part of Hartlebury Heath although no above ground evidence remains on this site.

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Ditch, South of Bigbury Lane, Stourport-on-Severn WSM67647:</p> <p>The ditch appears on LiDAR and may be of WW2 origin.;</p> <p>This is a highly sensitive landscape within the context of the former northern extent of Hartlebury Heath. Developing this site will encroach into an otherwise rural landscape.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>This is a sensitive site that will encroach into an otherwise rural landscape. The site could accommodate low density development that retains and enhances existing woodland, hedgerows and hedgerow trees to soften the visual impact of development. Access will need to be carefully designed not to impact on the historic character of Bigbury Lane and Wilden Top Lane. Development of this site carries the risk of further encroachment into a landscape that does not have the capacity to absorb block development.</p> <p>Site allocations policy can consider this.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be</p>

	required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.

Site Ref: MI/24	Site Name: LAND ADJACENT TO ROCK TAVERN WILDEN LANE	Housing
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Designated heritage asset included on the National Heritage List for England: Wilden Viaduct Grade II ref: 1271256;</p> <p>NHLE: 1271256 is situated 50m NW of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Wilden Viaduct Grade II NHLE: 1271256:</p> <p>Railway viaduct. Built 1859-60 by the Severn Valley Railway, engineers John Fowler and Henry Bridgeman. Coursed red sandstone and red brick. There are five segmental arches in total, extending for about 70m over the River Stour, a footpath and water meadows. The widest and most elaborate span, located to the centre of the structure, is</p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>a skew arch of approximately 20m on the skew and 8m on the square. This span has sandstone facing, sandstone voussoirs and brick intrados. Immediately joining both ends are massive curved abutments faced in sandstone. The arches have spans of approximately 7.6m; spandrels faced with sandstone and brick extrados and intrados, and are supported by sandstone piers having projecting sandstone impostes immediately below the springing line. The entire structure is surmounted on both sides by low sandstone parapets. Approximate height above the river is 20m. It is likely that the stone was quarried in the outcrop adjacent to the railway line some 500m to the east of the viaduct. History: The viaduct was built as a part of the Severn Valley Railway, which was constructed from Hartlebury to Shrewsbury and opened in 1862. It was worked by the West Midland Railway until taken over by the Great Western Railway in 1872. The line at this point was closed in 1981 and is now a footpath. Included as a handsome and unaltered Severn Valley Railway viaduct dating from 1860 and designed by John Fowler.</p> <p>Impact on the setting only.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>This is a sensitive site that will be highly visible from both the road and the footpath on top of the viaduct. The design and layout of any housing here will need to be carefully designed not to impact negatively on the historic character of this part of Wilden Lane.</p> <p>Site allocations policy can consider this.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>

<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>





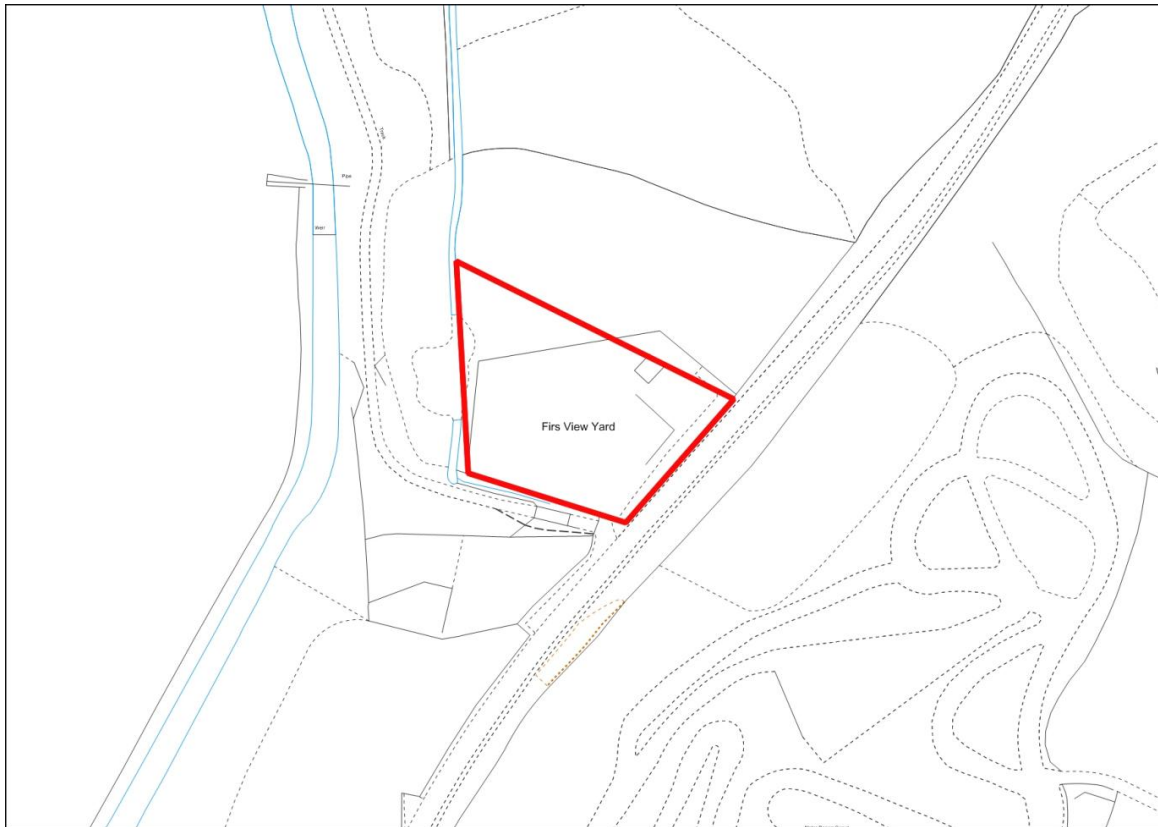
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Limited significance of palaeochannel due to development on it in the past.</p> <p>Some local aesthetic and historic significance attributable to SS248-53.</p> <p>Limited impact on setting only.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation Possible.</p> <p>This site is opposite a row of undesignated heritage assets and within the plain of the River Stour.</p> <p>There will be a need for careful consideration of the layout, design, scale and materials used within any development to ensure that the development contributes positively to this location.</p> <p>In terms of mitigating impact on unknown below ground archaeology there will be a requirement for a desk based assessment to assess the potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording may be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Any development on this site should in form, scale, massing and materials serve to enhance the setting of the canal conservation area.</p> <p>Yes, site allocations. Policies 11B and 26 refer to the enhancement of heritage assets and the need to assess significance of assets affected by proposed development.</p>

5) What further work is required?	<p>Potential for archaeology:</p> <p>Site will require a desk based archaeological assessment to identify the potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance.</p> <p>Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: MI/36

Site Name:  
FIRS YARD WILDEN LANE

Gypsy pitches



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

No recorded designated or undesignated heritage assets on the site.

Undesignated heritage assets included on the Worcestershire HER:

Historic Water meadow, Wilden Lane SSSI WSM35268;

Line of an older course of the River Stour WSM34452;

Area of high palaeo-environmental potential.

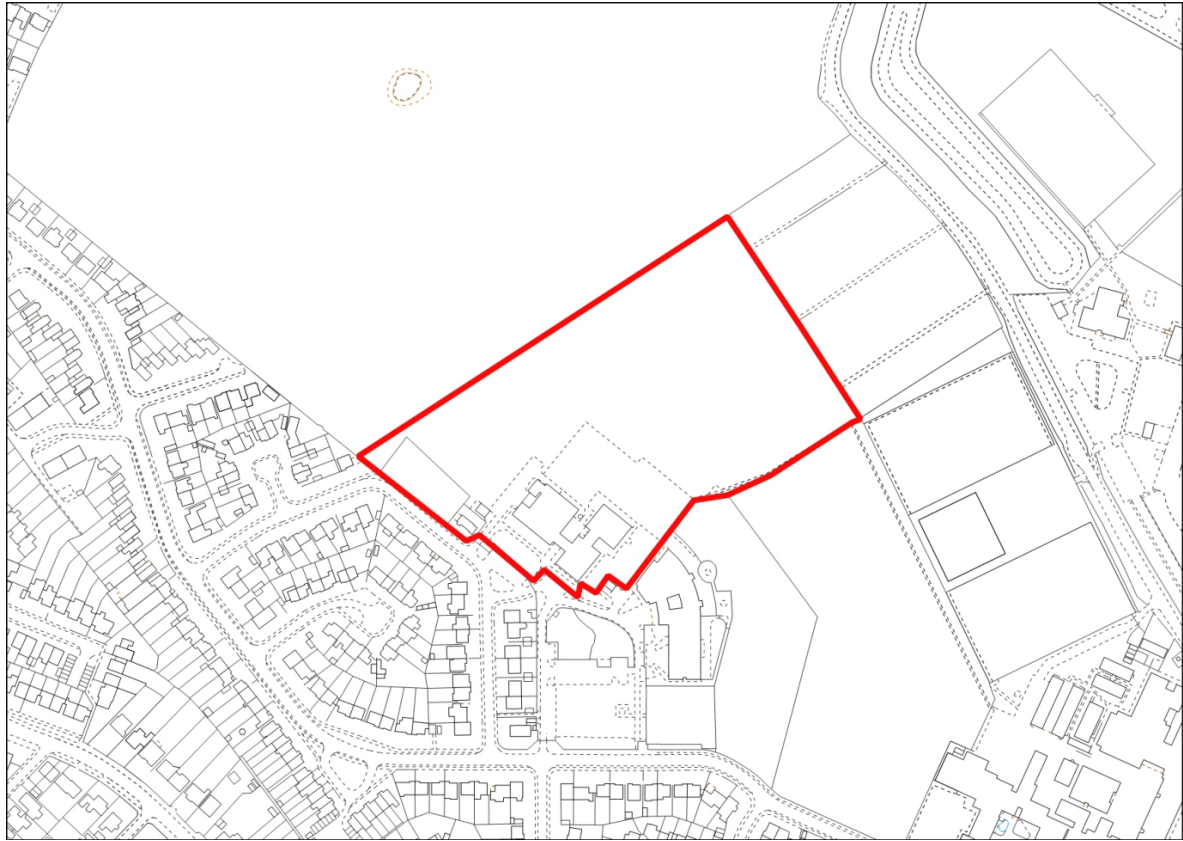
c) What is the proximity?

WSM35268 and WSM34452 lie immediately to the west of the site.

<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Watermeadow WSM35268 may be related to Lord Foley's irrigation scheme and is thus of some historic significance.</p> <p>WSM34452 relates to a forge on the Stour now demolished. This is thus of some limited historic significance only.</p> <p>Development on this site will have negligible impact on the significance of the known un-designated heritage assets, however this is an area of high palaeo-environmental potential and so this site should be considered of high archaeological potential that will require further assessment.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and palaeo-environmental interest and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement</p>

	submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.

Site Ref: MI/38	Site Name: SCHOOL SITE CONISTON CRESCENT	Housing
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>None known.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Site of sewage farm on 1884 and 1903 Ordnance Survey.</p> <p>Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p>	<p>Yes. Mitigation possible.</p>

<p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology:</p> <p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

## Appendix A6

### Heritage Impact Assessments for site allocations included within the Wyre Forest District Council Local Plan Pre-Submission Publication September 2019

#### Bewdley Sites

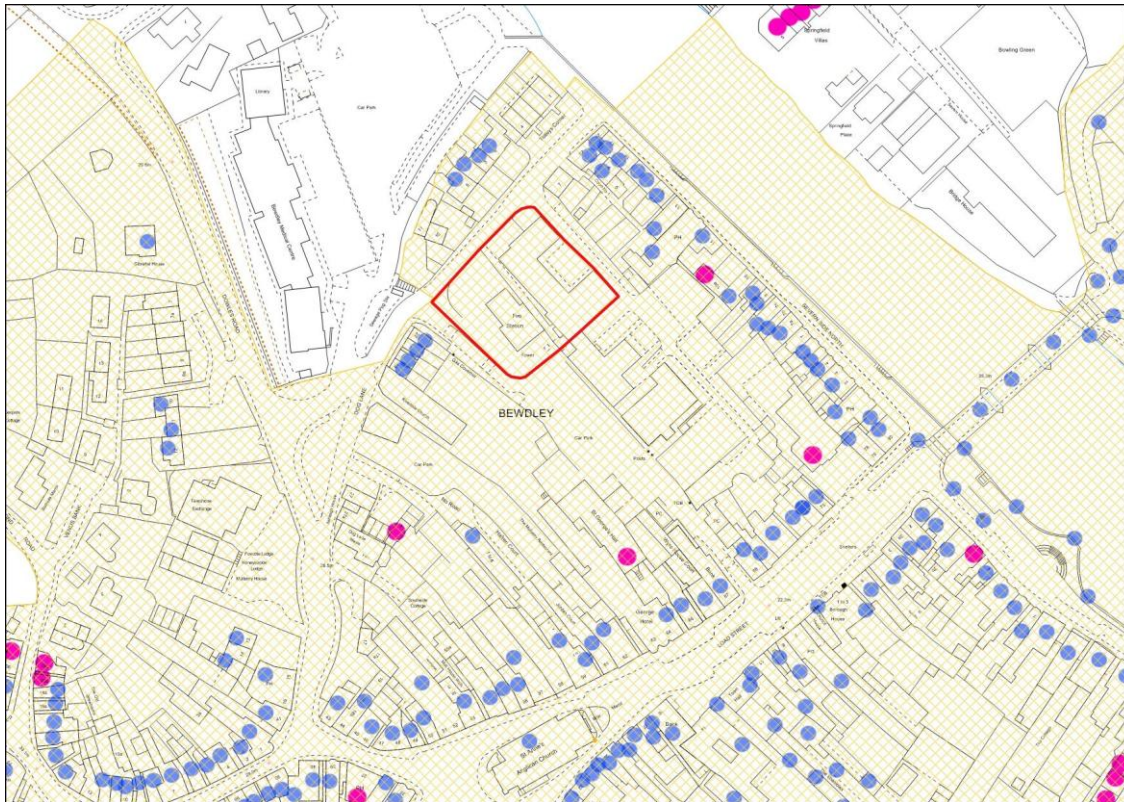
HELAA REF	LOCATION	SOURCE	SIZE (HA)	HOUSING CAPACITY	Bfd/Gfd/GB	Type of land use
BR/BE/1	Bewdley Fire Station	HELAA	0.2	15	Bfd	Housing
WA/BE/1	Stourport Road triangle	PO	3.67	86	GB	Housing
WA/BE/3	Catchem's End	PO	5.61	75	GB	Housing and open space
WA/BE/5	Land south of Habberley Road	PO	1.71	45	GB	Housing



Site Ref: BR/BE/1

Site Name:  
BEWDLEY FIRE STATION

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Designated heritage assets within the site boundary:

Bewdley Conservation Area;

Designated heritage assets within a 75m radius of the site:

PLEASANT PLACE Grade II. NHLE 1166625;

4 AND 5, DOG LANE Grade II. NHLE 1166634;

NUMBERS 2 (CARTERSVILLE) AND NUMBER 3 Grade II NHLE 1100005;

QUAY COTTAGE Grade II. NHLE 1348286;

4/6, SEVERN SIDE NORTH COURT

<p>c) What is the proximity?</p>	<p>NUMBER 1 Grade II NHLE 1100773; 15 AND 16, SEVERN SIDE NORTH Grade II. NHLE 1296952;</p> <p>14, SEVERN SIDE NORTH Grade II. NHLE 1100772;</p> <p>NUMBER 12 (THE MUG HOUSE PUBLIC HOUSE) AND NUMBER 13 Grade II. NHLE 1167312;</p> <p>11, SEVERN SIDE NORTH Grade II. NHLE 1100771; Designated heritage assets within a 150m radius of the site: 30 entries on NHLE at Grade II;</p> <p>CHURCH OF ST ANNE Grade II*. NHLE 1099966;</p> <p>SEVERN BRIDGE INCLUDING FLANKING ARCHES AND BALUSTRADE Grade I. NHLE1100000;</p> <p>Undesignated heritage assets within a 75m radius of the site:</p> <p>Undesignated heritage assets included on the WFDC Local Heritage List for Bewdley:</p> <p>10a Severn Side North. Ref: LLB78.  St George's Hotel. Ref: LLB57.</p> <p>See above.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Assets within 75m radius of the site</p> <p>Bewdley Conservation Area:</p> <p>The CA was designated in 1968 and reviewed in 1976, and is 42.8 hectares (105.7 acres) in extent. It comprises the town centre, adjoining residential streets, part of the River Severn, adjoining river frontages and other landscape features, and part of the old settlement of Wribbenhall.</p> <p>The surviving built component of the Conservation Area dates primarily from the fifteenth to the nineteenth centuries, although settlement in the area predates this period. The Conservation Area is at the heart of the</p>

town of Bewdley that is itself set in and hidden by unspoilt undulating countryside. The Area includes a large proportion of the town and in places abuts open countryside; hence the rural setting of the town is an important component of its character and in turn that of the Conservation Area. Much of this countryside was recognised in the Worcestershire County Development Plan during the 1950s as being an Area of Great Landscape Value, and has been recognised in successive Local Plans as having high local landscape quality. To the west, north and south lie the Wyre Forest and its outliers, which are recognised as being of national importance to nature conservation. The urban fringe to the east of the river is entirely allocated as Green Belt. It is important to conserve the rural setting of the town and Conservation Area, and in so doing to recognise the interrelationships between the Area and overall setting.

The River Severn is a significant feature forming a valley through the centre of the Conservation Area and Town. Here the channel varies in width between approximately 40 and 55 metres. The riverbanks are, for the most part in this location, revetted with natural sandstone blocks that historically formed quaysides. Importantly, the River brings the countryside into the town, particularly as to the north and south, the town is pinched inwards in plan towards the River. In addition, there is only one bridge over the River in the town centre and Conservation Area, meaning views upstream and downstream from the bridge itself and adjoining quaysides towards the countryside are uninterrupted and continuous.

The Conservation Area has considerable architectural and historic interest. The town's origins as a principal crossing point of the River Severn during medieval times and as an inland port established it as a thriving centre for trade, which continued until the late 18th and early 19th centuries. Its prosperity is reflected in many buildings, particularly those constructed during the late middle ages and Georgian periods; which have stamped a clear and unmistakable character on the town, and generally comprise a clear lead for new development

	<p>to follow. The construction of the railway station during the mid. 19th century brought Victorian architectural influences, particularly to parts of Wribbenhall.</p> <p>The Conservation Area extends to include Maypole Piece, a parcel of undeveloped land immediately to the north of the railway station and which forms a small hill.</p> <p>PLEASANT PLACE Grade II. NHLE 1166625:</p> <p>A group of 4 almshouses built 1826. These have historic, communal and some aesthetic value. Overall a medium significance and form an important boundary to the historic town centre development,</p> <p>4 AND 5, DOG LANE Grade II. NHLE 1166634:</p> <p>Two mid-C18 houses, raised early C19. These houses have historic and aesthetic and group values and have a medium significance.</p> <p>NUMBERS 2 (CARTERSVILLE) AND NUMBER 3 Grade II. NHLE 1100005:</p> <p>Two houses. Mid-C18 with some late C20 alterations. Brick with concrete tile roof. Two storeys, attached to no. 4. These houses have aesthetic and historic value and contribute to the significance of the conservation area as part of a group lining the north side of Dog Lane.</p> <p>QUAY COTTAGE Grade II. NHLE 1348286:</p> <p>A group of 3 cottages including 17 Severn Side North and 23 and 24 Dog Lane. The group forms an important and prominent corner group within the Conservation Area. Cottages have aesthetic and historic value contributing to a medium significance.</p> <p>4/6, SEVERN SIDE NORTH COURT NUMBER 1 Grade II NHLE 1100773:</p> <p>House. Early C17 with mid-C19 and</p>
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	<p>some C20 alterations. Timber-frame with brick infill, tile roof. Has aesthetic and historic value and contributes to the group value of properties lining Severn Side North; overall medium significance.</p> <p>15 AND 16, SEVERN SIDE NORTH Grade II. NHLE 1296952:</p> <p>House, now two houses. First half C16 with C18, mid-C19 and late C20 alterations. Timber-frame with rendered infill, partially replaced and clad in painted brick, on red sandstone plinth, tile roof. Property has considerable aesthetic and historic value and forms part of a group lining Severn Side North. Medium significance.</p> <p>14, SEVERN SIDE NORTH Grade II. NHLE 1100772:</p> <p>House. Late C18 with mid-C19 alterations. This property has aesthetic and historic value and forms part of a group lining Severn Side North. Medium significance.</p> <p>NUMBER 12 (THE MUG HOUSE PUBLIC HOUSE) AND NUMBER 13 Grade II. NHLE 1167312:</p> <p>Two houses, now public house. Early C18 with mid-C19 and late C20 alterations. Painted and rendered brick with tile roof, chimney stack in front roof slope. These properties have aesthetic and historic value and form part of a group lining Severn Side North. Medium significance.</p> <p>11, SEVERN SIDE NORTH Grade II. NHLE 1100771:</p> <p>House. Early C19. Brick, tile roof, gable end stack. Property has limited aesthetic and historic value but forms part of important group lining Severn Side North. Low/Medium significance. 10a Severn Side North Ref: LLB78;</p> <p>Originally a ware-house associated with Coals Quay, dating to mid-C18th, now used as small art gallery. Set well back from the</p>
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	<p>remainder of the terraces lining Severn Side North. The building has aesthetic and historic value contributing to a low/medium significance.</p> <p>St George's Hotel Ref: LLB57;</p> <p>Originally constructed in the 1890's as an additional Assembly Room to the George Hotel. Constructed in red brick with red plain clay tiles to roof. Large full height arched windows to side elevation. South elevation faces to courtyard between George Hotel and 65 Load Street. 1960's extension and alterations to north end of building. This is a prominent building recently extended which has strong communal and historic value and limited aesthetic value. Overall low/medium significance.</p> <p>Assets within 150m radius of the site</p> <p>There are a further 30 designated heritage assets within a 150m radius of the site and these are located at Severn Side North, the north side of Load Street and the western part of Dog Lane, in the northern part of the historic core of Bewdley.</p> <p>All are listed Grade II and have considerable aesthetic and historic values contributing to medium significance. Their significance in respect of their value as a group to the Conservation Area is high.</p> <p>There are two listed buildings which are of high significance:</p> <p>CHURCH OF ST ANNE Grade II*. NHLE 1099966:</p> <p>Chapel, now parish church. 1695 - 6, tower, with rest of church 1745 - 8, some late C19 and late C20 repairs, by Thomas Woodward of Worcester and Richard Woodward of Chipping Campden. Ashlar with hipped machine tile roof. West tower, nave with aisles under one roof, chancel. West tower: four stages, balustraded parapet with an urn at each corner, bands to second and third stages, quoined; projecting square plan stair turret at south-west corner, third stage (belfry) has a louvred window with 4-centred head to each</p>
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<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>side, with clock face below; second stage and first stage has semi-circular headed windows with moulded architraves, entrance on south side;</p> <p>The tower of the church is the tallest and most a prominent landmark in the town.</p> <p>The church has considerable communal, historic and aesthetic value And thus is of high significance.</p> <p><b>SEVERN BRIDGE INCLUDING FLANKING ARCHES AND BALUSTRADE Grade I. NHLE1100000</b></p> <p>Arguably the most significant structure within Wyre Forest District the Bridge was built in 1798 by Thomas Telford. Ashlar and cast iron. Three arches over river, two towpath arches on south bank, 14 arches on north bank extending about 50 metres to south-east; balustrades on river part of stone, cast iron on land. South front: three segmental arches with rusticated voussoirs, triangular cutwaters with pyramidal caps, above which pilasters rise to the moulded cornice below the balustrade which has bulbous balusters; central pediment tablet in balustrade bearing the arms of Bewdley.</p> <p>The structure is of considerable aesthetic value to the Conservation Area as well as possessing intrinsic architectural value, it has much communal and historic value and is the principal viewpoint from which the town and conservation area can be appreciated. It has high significance.</p> <p>Development on this site has potential to impact on the immediate setting of those heritage assets within a 75m radius.</p> <p><b>4 AND 5, DOG LANE Grade II. NHLE 1166634 and NUMBERS 2 (CARTERSVILLE) AND NUMBER 3 Grade II NHLE 1100005</b> – these four properties face the site across Dog Lane. As the site is immediately opposite and to the south there is a risk</p>
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that a tall development will overshadow these properties entirely for a large part of the day. Development has potential to completely overwhelm the properties as they are of a smaller scale than many within the Conservation Area.

QUAY COTTAGE Grade II. NHLE 1348286; 4/6, SEVERN SIDE NORTH COURT NUMBER 1 Grade II NHLE 1100773; 15 AND 16, SEVERN SIDE NORTH Grade II. NHLE 1296952; 14, SEVERN SIDE NORTH Grade II. NHLE 1100772; NUMBER 12 (THE MUG HOUSE PUBLIC HOUSE) AND NUMBER 13 Grade II. NHLE 1167312; 11, SEVERN SIDE NORTH Grade II. NHLE 1100771; 10a Severn Side North. Ref: LLB78:

These properties line Severn Side North and their significance is in part derived from their quayside location with the hillside beyond. This is best appreciated from the Bridge (q.v.). The site is to the rear of these properties and thus tall development on the site has potential to loom over the properties and encroach on views north west from the bridge.

CHURCH OF ST ANNE Grade II\*. NHLE 1099966: There are views of the church available from many vantage points to the north of the historic core of the town. The church tower acts as a landmark and identifies the town centre in these views. Development on the site has potential to obstruct or interfere with these views such that some of the significance of the church attributable to its setting will be harmed. There will inevitably be co-visibility of the site and the church in these views.

SEVERN BRIDGE INCLUDING FLANKING ARCHES AND BALUSTRADE Grade I. NHLE1100000:

Development on this site has potential to impact on the setting of the bridge as perceived from viewpoints to the south and east of the bridge. It also has potential to impact on views from the bridge towards the north west across



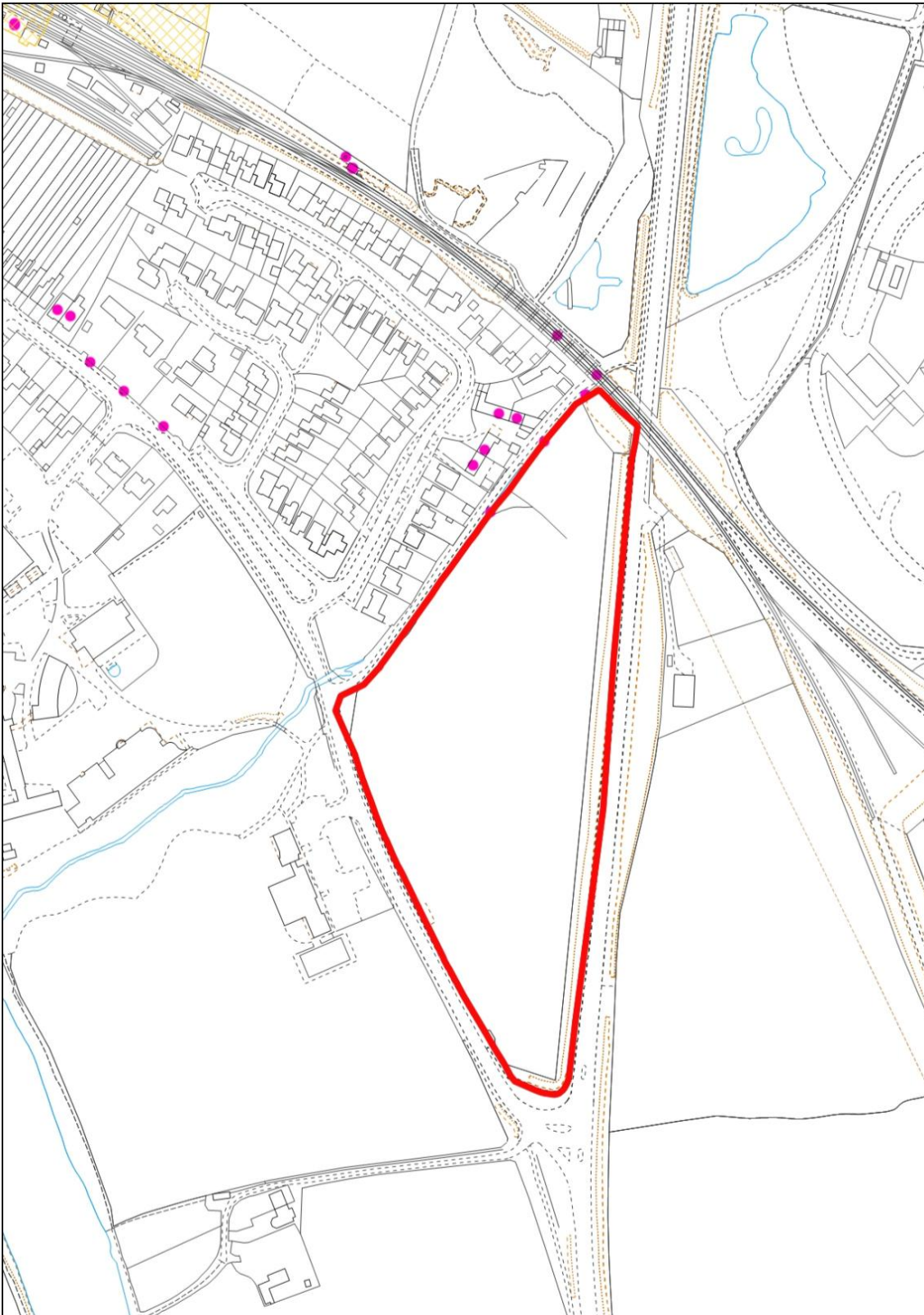
	<p>and over the roof-line of the listed buildings lining Severn Side North.</p> <p>Bewdley Conservation Area:</p> <p>Development on this site has potential to affect views into, out of and across the Conservation Area, and thereby affect the setting of numerous designated and undesignated heritage assets within the Area.</p> <p>Recent developments outside the conservation area but close to this site have utilised the topography of the adjacent hillside to reduce the impact on the Conservation Area. Development on this site potential to cause substantial harm to the significance of the Area by development that is taller or of a form/massing that is out of scale with the surrounding buildings as the site rises from east to west. The site has a history of use as pleasure gardens and there is potential for archaeological remains below ground. Development which would involve construction of new foundations could result in loss or fragmentation of surviving archaeological remains.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>Development on the site should utilise the change in levels across the site to reduce the overall height of the built form, so that the impact on designated assets on the opposite side of Dog Lane is reduced to a minimum.</p> <p>The form and massing of the development should reflect the organic development of the town and not present a single monolithic structure to the public domain.</p> <p>The impact of development on views across the town from the north, towards the church tower, and across the town from the Bridge should be analysed and used to determine the form of any new buildings on the site.</p> <p>In summary this is therefore a site highly sensitive to change whereby the setting of surrounding existing buildings should be subject to analysis to determine the most appropriate design. A programme of</p>

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>archaeological works will be required and that should include, building recording, townscape assessment, and below ground archaeological investigations.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>High potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance.</p> <p>Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WA/BE/1

Site Name:  
STOURPORT ROAD  
TRIANGLE

Housing



Crown Copyright 100018317



	<p>the NW of the site;</p> <p>18-20 Sandbourne Drive LLB74 lies 25m to the west of the site;</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Bewdley Conservation Area:</p> <p>The CA was designated in 1968 and reviewed in 1976, and is 42.8 hectares (105.7 acres) in extent. It comprises the town centre, adjoining residential streets, part of the River Severn, adjoining river frontages and other landscape features, and part of the old settlement of Wribbenhall.</p> <p>The surviving built component of the Conservation Area dates primarily from the fifteenth to the nineteenth centuries, although settlement in the area predates this period.</p> <p>The Conservation Area is at the heart of the town of Bewdley that is itself set in and hidden by unspoilt undulating countryside. The Area includes a large proportion of the town and in places abuts open countryside; hence the rural setting of the town is an important component of its character and in turn that of the Conservation Area. Much of this countryside was recognised in the Worcestershire County Development Plan during the 1950s as being an Area of Great Landscape Value, and has been recognised in successive Local Plans as having high local landscape quality. To the west, north and south lie the Wyre Forest and its outliers, which are recognised as being of national importance to nature conservation. The urban fringe to the east of the river is entirely allocated as Green Belt. It is important to conserve the rural setting of the town and Conservation Area, and in so doing to recognise the interrelationships between the Area and overall setting.</p> <p>The River Severn is a significant feature forming a valley through the centre of the Conservation Area and Town. Here the channel varies in width between approximately 40 and 55 metres. The riverbanks are, for the most part in this location, revetted with natural sandstone blocks that historically formed quaysides. Importantly, the River brings the countryside into the town, particularly as to the north and south, the town is pinched inwards in plan</p>

towards the River. In addition, there is only one bridge over the River in the town centre and Conservation Area, meaning views upstream and downstream from the bridge itself and adjoining quaysides towards the countryside are uninterrupted and continuous.

The Conservation Area has considerable architectural and historic interest. The town's origins as a principal crossing point of the River Severn during medieval times and as an inland port established it as a thriving centre for trade, which continued until the late 18th and early 19th centuries. Its prosperity is reflected in many buildings, particularly those constructed during the late middle ages and Georgian periods; which have stamped a clear and unmistakable character on the town, and generally comprise a clear lead for new development to follow. The construction of the railway station during the mid. 19th century brought Victorian architectural influences, particularly to parts of Wribbenhall.

The Conservation Area extends to include Maypole Piece, a parcel of undeveloped land immediately to the north of the railway station and which forms a small hill. It is this part of the Conservation Area that is in closest proximity to this site.

Winterdyne NHLE1348266 Grade II\*:

This mid-18<sup>th</sup> century house has considerable historic and aesthetic (architectural) value and its significance overall is high. The house occupies an elevated position over-looking the River Severn. Winterdyne is clearly visible in views across the site from the Severn Valley Railway, and the site is also visible from Winterdyne. There is thus inter-visibility and co-visibility of the site and this heritage asset.

SVR WSM12004, WSM 12002

The Severn Valley Railway was constructed in 1861-2 and runs on an embankment through Wribbenhall and the Bewdley Conservation Area, in places cut into the

	<p>sandstone hillside of Maypole Piece. Two viaducts one either end of the railway station carry the railway over streams and roads. It has medium communal, historic and aesthetic values giving it a medium significance.</p> <p>Sandbourne Viaduct WSM37119 was constructed to carry the railway over the valley of the Sandbourne Brook; its close proximity to Sandbourne House can be seen on OS maps of 1884 onwards. The viaduct is constructed of sandstone and brick and is of historic and aesthetic value, contributing to an overall medium significance. It now forms an important feature within the landscape to the south of Bewdley.</p> <p>Site of Sandbourne House Wribbenhall WSM20663 is of historic significance. Some features of the estate survive (q.v.). The walled garden occupied the northern part of this development site and its layout is clearly shown on the 1884 Ordnance Survey.</p> <p>Red Brick Wall LLB77 forms the western boundary of the site and is the only tangible evidence of the former walled garden which sat on the northern part of the site. Tall historic brick garden walls are a feature of Bewdley and Wribbenhall with several examples extant (Designated and undesignated). This wall has some aesthetic and historic significance, whilst the site of the former garden has potential to yield evidential information and thus the significance of this part of the site is low/medium.</p> <p>22-24 Sandbourne Drive LLB75 is a former coach house and barn of mid-C19 origin built to serve Sandbourne House. It has historic and aesthetic values contributing to a low/medium significance.</p> <p>18-20 Sandbourne Drive LLB74 is, despite C20 alterations, a late C19 coach house of some considerable historic and aesthetic value, and something of a landmark feature within the surrounding modern housing. Its significance is low/medium.</p> <p>Bewdley Conservation Area: The town has been extended in the late C20 to the south west of the railway line to include housing, a</p>
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<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>school and a leisure centre. Development on the site may be visible from the Conservation Area at Maypole Piece and from elevated land to the north of Winterdyne. There may be co-visibility including the site and the Conservation Area from more distant vantage points such as Burlish Top. Views across the site from the SVR also include the Conservation Area. Development thus has the potential to impact on the context of the Conservation Area but not on the significance of the Area itself because the site is already developed on two sides and on the other two sides is bounded by the bypass and railway line.</p> <p>Winterdyne NHLE1348266 Grade II*: Development on this site has potential to impact on the wider setting of Winterdyne. Tall buildings in particular would have potential to be intrusive in views from the Severn Valley Railway viaduct towards Winterdyne. The significance of Winterdyne may suffer less than substantial harm as a result.</p> <p>Severn Valley Railway: Development on the site has potential to impact on views towards the railway from vantage points to the south west and on views from the railway towards Winterdyne and Bewdley Conservation Area beyond.</p> <p>Site of Sandbourne House WSM20663 and Red Brick Wall LLB77: Development on the northernmost part of the site has potential to disturb buried archaeology relating to the walled garden, and potential to cause substantial harm to the undesignated heritage asset (wall LB77), particularly if the wall is demolished or has wide openings created in it.</p> <p>Development on the northern part of the site could sever the visual relationship between the site of the walled garden and these ancillary structures LLB75 and LLB74 to Sandbourne House. This will have a slightly harmful impact on their significance although at the lower end of the scale.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p>	<p>Yes. Mitigation possible.</p>
<p>b) If yes, explain further including how</p>	<p>The topography of the site rises from</p>



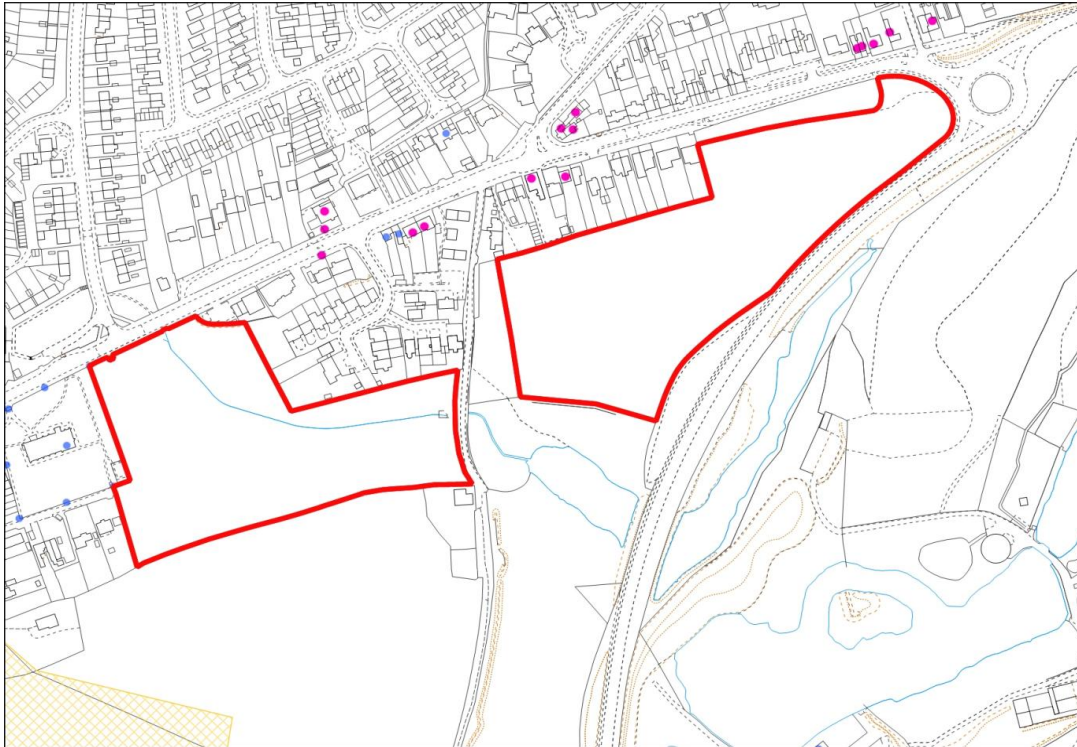
<p>mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Stourport Road on the southern boundary towards the northern boundary (adjacent to which was the walled garden serving Sandbourne House). Restricting development to that part of the site to the south of the former walled garden will reduce the impact on buried archaeology.</p> <p>Retaining the undesignated heritage asset (wall) LLB77 along Sandbourne Lane will maintain the historic boundary of the site and provide an opportunity for green infrastructure.</p> <p>By developing a mix of single and two-storey dwellings the overall impact on views to and from Winterdyne will be reduced. Three storey buildings on this site would dominate the landscape to the south east of the town and be out of proportion with other development in the vicinity.</p> <p>Site allocations policy to reflect the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Opportunity to create an area of green infrastructure at the northern-most part of the site where the walled garden once stood. An existing gate within the wall could provide pedestrian access to Sandbourne Lane.</p> <p>Yes, site allocations to reflect these issues,</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement</p>

	submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.

Site Ref: WA/BE/3

Site Name:  
CATCHEMS END

Housing and open space



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

No recorded designated or undesignated HE assets on the site.

Designated heritage assets included on the National Heritage List for England:

CHURCH OF ALL SAINTS NHLE: 1099960;

CHURCHYARD WALLS AND LYCHGATE AT CHURCH OF ALL SAINTS NHLE: 1380210;

c) What is the proximity?

CHURCH OF ALL SAINTS NHLE: 1099960 is situated 25m W of the site.

CHURCHYARD WALLS AND LYCHGATE AT CHURCH OF ALL SAINTS NHLE: 1380210 is situated immediately adjacent to the site and forms the western boundary of the site.

2a) What is the significance of the heritage

CHURCH OF ALL SAINTS NHLE: 1099960:

assets?

This rock-faced red sandstone parish church 1878 by Arthur Blomfield is Grade II listed primarily due to its aesthetic (architectural) and historic value; it also has communal value. The church was historically separated from its vicarage (now 98 Kidderminster Rd Wribbenhall) owing to the site being liable to floods. The semi-rural setting of the church on the edge of the town contributes to its overall medium/high significance.

**CHURCHYARD WALLS AND LYCHGATE  
AT CHURCH OF ALL SAINTS NHLE:  
1380210:**

The wall is contemporary with the church and possibly by the same architect. The walls and lych-gate have a group value and their historic and aesthetic values contribute to the overall significance of the site.

b) Will the proposed development have any impact on the significance? Please explain.

Development on the part of the site adjacent to the church and churchyard has potential to adversely affect views of the east end of the church from the Kidderminster Road, and this will in turn diminish its significance.

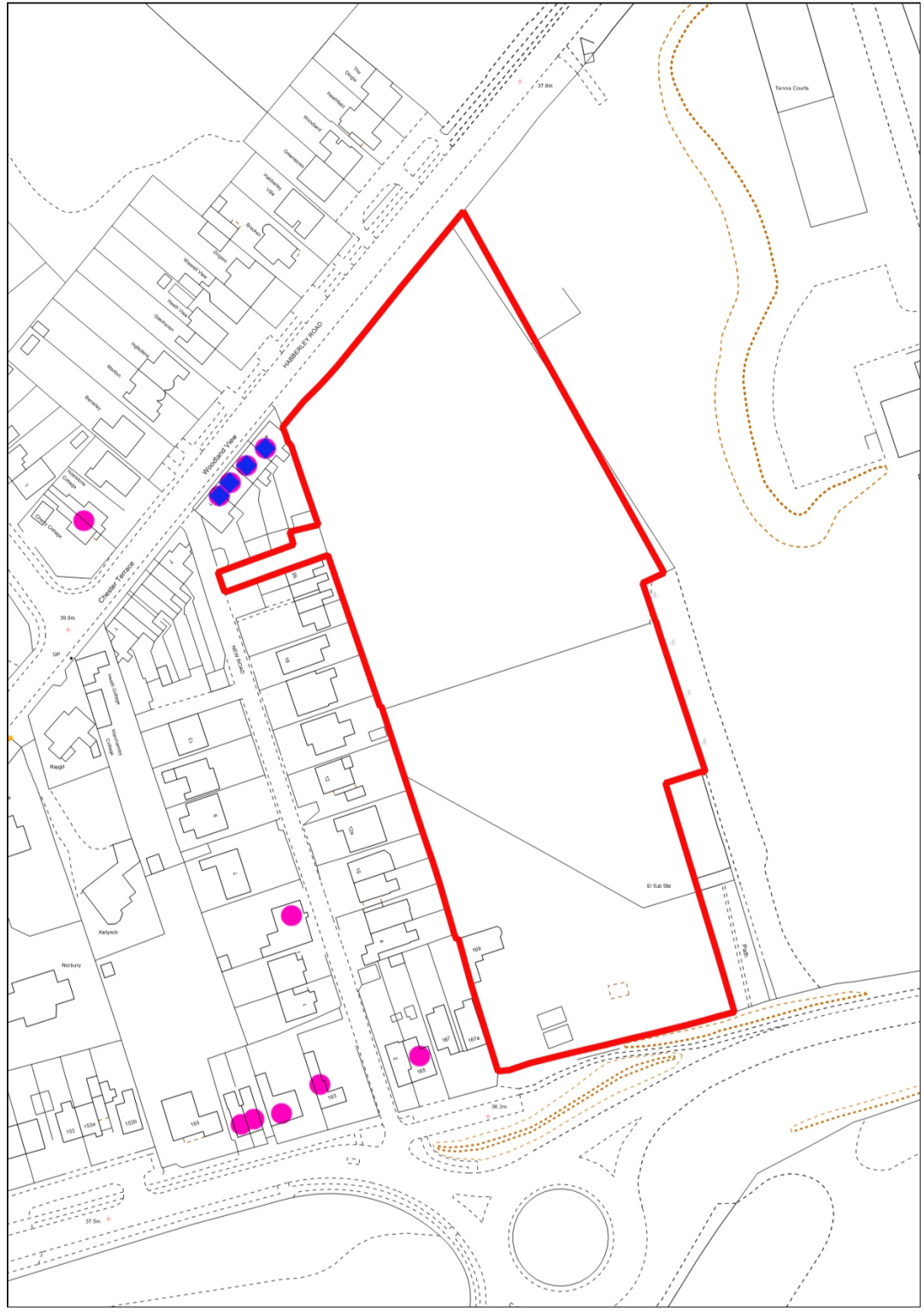
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible but only on the eastern-most part of the site.</p> <p>The eastern part of the site has some capacity for low height development which should be limited to permit appropriate landscaping and can be integrated to soften the visual impact from the churchyard to the Green Belt.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Site allocations policy can reflect this.</p> <p>If development is proposed on the western part of the site adjacent to the churchyard the NPPF allows decision makers to consider the public benefits associated with a development which causes less than substantial harm to a designated heritage asset. This can be taken into consideration within the site allocations policy.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that</p>

	may be affected and to assess the impact of development on them and their settings.

Site Ref: WA/BE/5

Site Name:  
LAND SOUTH OF  
HABBERLEY ROAD

Housing



Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>No known heritage assets on the site.</p> <p>Undesignated heritage assets included on the Local Heritage List for Bewdley:</p> <p>165 Kidderminster Rd Bewdley LHL ref: LLB50;</p> <p>Woodland View Terrace 1-4 Habberley Rd Bewdley ref: LLB14</p> <p>LLB50 lies 20m W of the site.</p> <p>LLB14 lies adjacent to the N of the site.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Distant from historic core of any known historic settlement therefore low potential for below ground archaeology thus overall significance of the site is low.</p> <p>LLB50 is a house dating from C19 included for its local architectural interest. It has some aesthetic value although its overall significance is low.</p> <p>LLB14 is a terrace of four houses dating from the C19 included for its local architectural interest. It has some aesthetic value although its overall significance is low.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p> <p>Development on the site will have a negligible impact on the significance of LLB50 or LLB14.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where</p>



<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Development should respect the scale, morphology and materials of the adjacent historic suburban character. The well-established hedgerow and trees should be retained and extended north to connect with the hedgerow along the B4190 and provide screening to the north-east.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

## Appendix A7

### Heritage Impact Assessments for site allocations included within the Wyre Forest District Council Local Plan Pre-Submission Publication September 2019

#### Rural Villages

HELAA REF	LOCATION	SOURCE	SIZE (HA)	HOUSING CAPACITY	Bfd/Gfd/GB	Type of land use
BR/RO/2	Lem Hill Nurseries	HELAA	1	20	Bfd	Housing
BR/RO/21	Alton Nurseries	PO	0.37	4	Bfd	Housing and employment
WA/UA/1	Bellmans Cross Shatterford	HELAA	0.8	16	GB/bfd	Housing
WA/UA/4	Allotments Upper Arley	PO	0.46	10	GB	Housing
WA/UA/6	Red Lion Court Bridgnorth Road	LPRPO	0.1	2	GB/bfd	Housing
WFR/CB/2	Station Yard Blakedown	LPRPO			Bfd	Station car park
WFR/CB/3	Land off Station Drive Blakedown	LPRPO		50	Gfd/GB	Mixed Use
WFR/CC/8	Fold Farm Chaddesley Corbett	LPRPO		6	GB	Housing
WFR/ST/9	Cursley Distribution Park	LPRPO	3.32		GB/bfd	Employment

Site Ref: BR/RO/2

Site Name:  
LEM HILL NURSERIES

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

No.

No designated or undesignated historic assets on or immediately adjacent to the site.

Not applicable.

2a) What is the significance of the heritage assets?

b) Will the proposed development have any impact on the significance? Please explain.

Unknown.

No known built heritage assets on site therefore the historic environment potential of the site is unknown.

3a) Are there mitigation measures that could overcome the impact/harm?

b) If yes, explain further including how mitigation could be achieved through the local plan

Yes. Mitigation Possible.

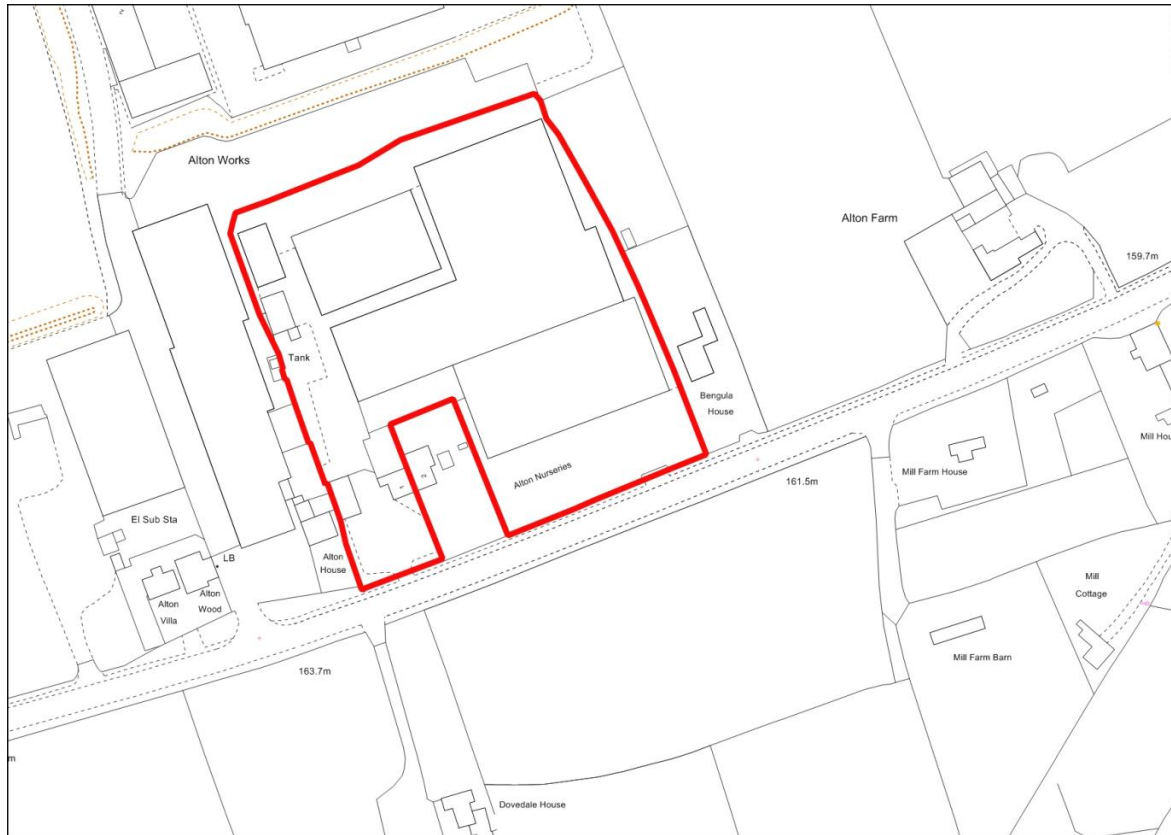
No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Far Forest has been heavily impacted by infill, expansion and inappropriate black development during the last 30 -40 years and this has had a negative impact on the formerly open historic landscape character punctuated with dispersed settlement. Notwithstanding the current horticultural footprint, this site should be limited to low density wayside development that is set back from the road. The existing boundary features should be enhanced to provide effective screening.</p> <p>Site allocation policy can consider the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Not applicable.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology:</p> <p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: BR/RO/21

Site Name:  
ALTON NURSERIES

Housing and Employment



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

If yes,

b) What type of heritage asset?

c) What is the proximity?

No.

No recorded designated or undesignated HE assets on the site.

Former 20th century factory (WSM33272) is located 25m W of the site.

2a) What is the significance of the heritage assets?

b) Will the proposed development have any impact on the significance? Please explain.

No known built heritage assets on site which has been heavily developed during the 20th century and should be considered of low archaeological potential.

Unknown.

3a) Are there mitigation measures that could overcome the impact/harm?

b) If yes, explain further including how mitigation could be achieved through the local plan

Yes. Mitigation possible.

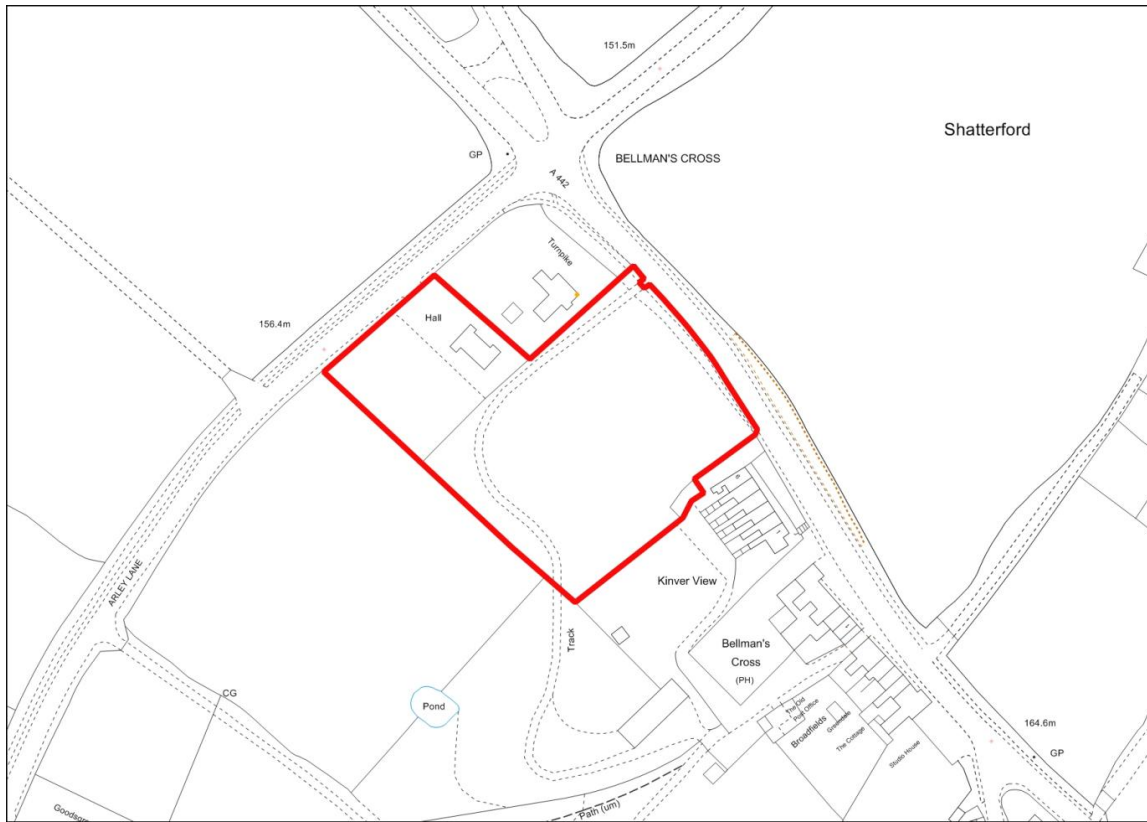
No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Not applicable.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Low potential for archaeology:</p> <p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WA/UA/1

Site Name:  
BELLMANS CROSS  
SHATTERFORD

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

No designated or undesignated historic assets on the site.

Undesignated heritage asset included on the Worcestershire Historic Environment Record:

Deep Pit, Shatterford, Upper Arley  
WSM08198;

c) What is the proximity?

WSM08198: The shaft for Deep Pit was sited 135m S of the site, however the associated terrace housing lies adjacent to the site to the east.

<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Deep Pit, Shatterford, Upper Arley WSM08198:</p> <p>Very little remains of this mine however associated with it are the two rows of cottages on the A442: that with the Bellman's Cross Pub is dated c.1850 and the second, closer to the site is dated c.1890. These are good examples of mining attracting labour and thereby creating a small isolated settlement. The settlement thus has historic and some aesthetic and communal value and is of medium significance.</p> <p>Development on this site will expand the miners settlement and thereby impact visually upon its isolated and compact character, however its significance will remain unaffected.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>This site can accommodate low density wayside development characteristic of the wider settlement. Currently wooded in character, the development should retain and enhance a proportion of this to contribute towards functional screening and GI.</p> <p>Yes. Site allocation policy can consider the above.</p>

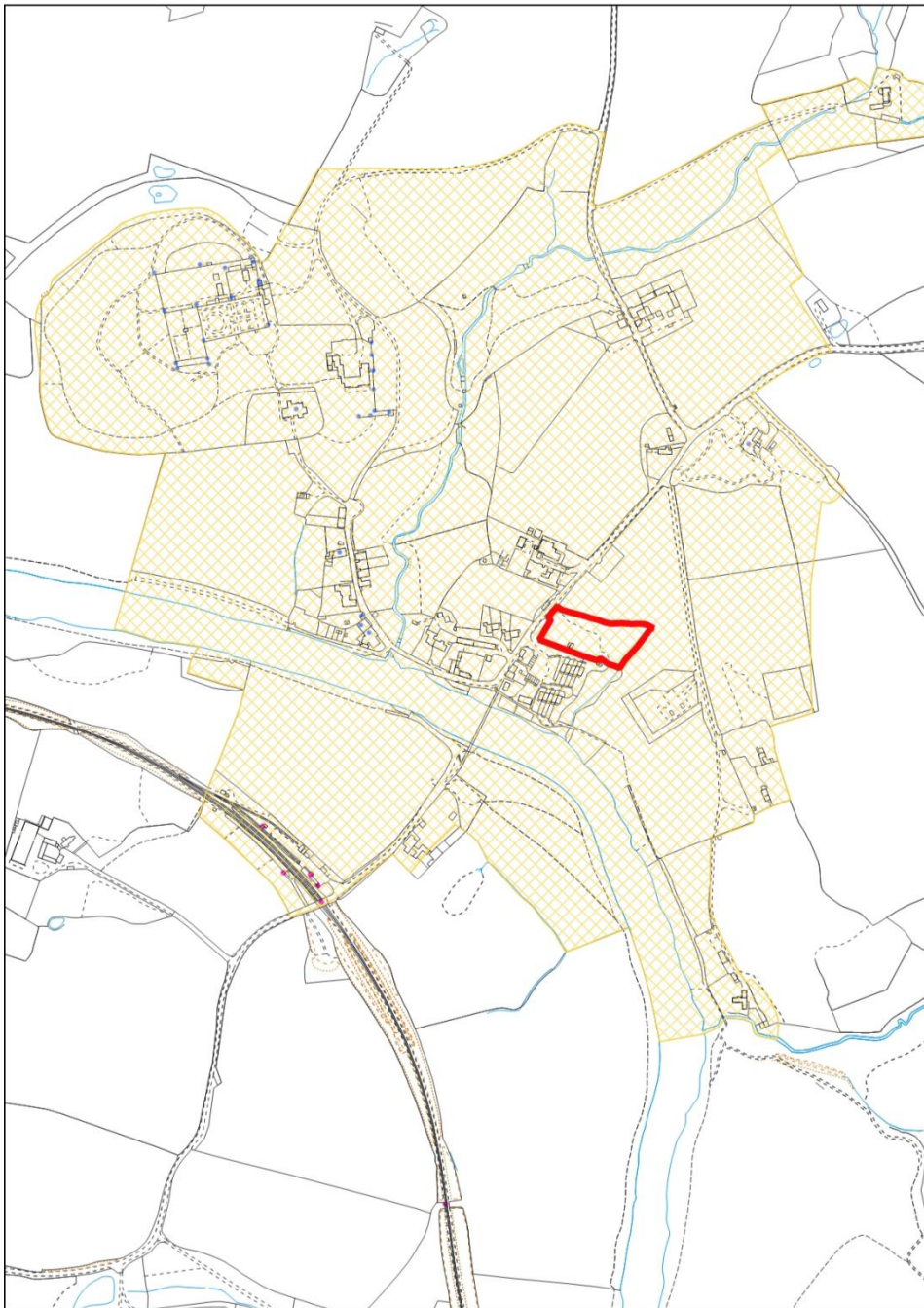


5) What further work is required?	<p>Unknown potential for archaeology:</p> <p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WA/UA/4

Site Name:  
ALLOTMENTS UPPER  
ARLEY

Housing



Crown Copyright 100018317

1 a) Is the site in proximity to  
Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

Designated heritage assets:

Upper Arley Conservation Area;

<p>c) What is the proximity?</p>	<p>Designated heritage assets included on the National Heritage List for England:</p> <p>Arley Cottage Grade II listed NHLE1031899;</p> <p>Arley House Registered Park and Garden NHLE1000872;</p> <p>Undesignated heritage assets included on the Worcestershire HER:</p> <p>Upper Arley C of E Primary School, School Bank, Upper Arley WSM66851;</p> <p>The site lies within the Upper Arley Conservation Area;</p> <p>Arley Cottage Grade II listed NHLE1031899 is situated 230m NE of the site;</p> <p>Arley House Registered Park and Garden NHLE1000872 lies 230m NW of the site.</p> <p>Upper Arley C of E Primary School, School Bank, Upper Arley WSM66851 is situated 20m N of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Upper Arley Conservation Area:</p> <p>Upper Arley Conservation Area was designated in 1991 and is based upon a rural hamlet set on the sides of the valley of the River Severn, together with outlying buildings and landscape features.</p> <p>Upper Arley has probably been a settlement for over a thousand years, its first mention being made in 996 AD when it was given to a College of Canons. Roman traces however have also been found in the area. Upper Arley was mentioned in the Domesday Book of 1086 and King James granted a charter in 1606 to the inhabitants. The present Parish Church is of the early fourteenth century and incorporates twelfth century fragments. Most of the other historically important buildings date from the eighteenth and nineteenth centuries. Much of the Conservation Area falls within the present Upper Arley Estate. In the past Upper Arley has had a reputation for cider making and has been noted for lampreys, fish, oats, wine and agriculture. The latter is still important to the life of the hamlet.</p>

The Victorian era was very important to Upper Arley. 1861 saw the opening of the existing school and in 1862 Arley Station was opened on the western bank of the River bringing new life to the settlement.

Buildings in Upper Arley are of a variety of polite, picturesque and vernacular styles but the materials are overwhelmingly red brick or red or buff-coloured sandstone with clay tiled roofs. The form of development varies from that of Arley House standing in extensive grounds, to the tightly packed arrangement of the dwellings along the narrow Arley Lane. A footbridge links the north and south banks of the River. There is a substantial buff sandstone revetment to the north-east bank of the River adjoining the footbridge. A small slip-way is set into the east bank of the River.

The sweep of Arley Lane down to the river and up towards the Church is an important characteristic of the settlement. The walls, hedges and railings along it enhance the sense of enclosure. Important spaces include the open fields between the River and railway station, between the River and Arley House, on either sides of the lanes leading into the settlement from the north and north-east, and between the River and Severnfield Cottages; together with the park and garden associated with Arley House.

Natural features of particular importance to the Conservation Area are the River Severn and its banks, and Arley Brook and its valley running through the centre of the hamlet. The hamlet is surrounded by attractive landscape of woodland and pasture and is set off by the landscaped gardens and arboretum of Arley House on the hill above. The Arboretum, planted around 1820, is included on the Register of Parks and Gardens of Special Historic Interest. Numerous deciduous trees throughout the Conservation Area add significantly to its character, opening and closing seasonal views and providing seasonal variations in colour.

The railway station is currently operated by the Severn Valley Railway and forms a popular stopping-off point for day-trippers, increasing the profile of the Conservation

	<p>Area. This profile is further increased by virtue of two important public footpaths running through the area along both the north and south banks of the River; the footpath on the south bank forming part of the Severn Valley Way regional recreation route. The north bank is particularly popular for recreational course fishing.</p> <p>Congestion can be a problem during the summer months but having no through traffic for much of the year, Upper Arley remains in relative tranquillity. Seasonal overflow car parking is provided in one riverside meadow on the south bank, to the south of the footbridge. The informal nature of this car parking, without fixed signage, hard surfacing or lighting, helps to reduce its impact on the Conservation Area.</p> <p>The site is in an elevated location above the River Severn almost at the heart of the Conservation Area and is noted as an important space on the side of the lane leading into the settlement from the north.</p> <p>The principal significance of the site is that it has remained as allotment gardens for over 100 years and was agricultural land prior to that; it thus has communal and historic significance.</p> <p>Arley Cottage Grade II listed NHLE1031899:</p> <p>The principal significance of this designated heritage asset is its aesthetic (architectural) value as described in the list entry. The house also has considerable historic value as the remodelling of this house in its well-preserved Picturesque Gothic form took place either around 1844 (when Arley Castle was rebuilt by the second Earl Mountnorris) or shortly after 1851, when the estate was bought by the Woodward family. It was then used as the dower house for the estate. It thus has a degree of significance derived from its setting close to but not within the Historic Park and Garden of Arley House.</p> <p>Arley Cottage has overall medium/high significance.</p> <p>Arley House Registered Park and Garden NHLE1000872:</p>
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b) Will the proposed development have any impact on the significance? Please explain.

This is the largest property within the Conservation Area and forms roughly one third of the Area. It has considerable aesthetic, historic and communal value, and contributes much to the character of the Conservation Area, surrounding the Grade II\* listed church. Occupying high ground the park and garden is visible from many vantage points within and beyond the Conservation Area. It is thus of high significance.

Upper Arley C of E Primary School, School Bank, Upper Arley WSM66851: This is a distinctive building of Victorian origin with equally distinctive late 20<sup>th</sup> century extensions, and occupies a prominent position on high ground on the east side of the River Severn overlooking the village. The buildings have aesthetic, historic and communal values and a medium significance.

Conservation Area:

Development on the site has potential to have a profound impact on the appearance of the Conservation Area as viewed from vantage points to the west of the River Severn and from within the Conservation Area from the east and south. From the north west the view is limited by the banks lining the road as it drops towards the river.

Development will extend the built-up area within the heart of the village behind the mid-20<sup>th</sup> century dwellings up the hillside to the east of the village.

Those elements of the significance of the Conservation Area derived from its appearance set within the River Valley and the containment of existing development to the few existing rows of dwellings will be affected by development on this site.

Arley Cottage Grade II listed NHLE1031899:

Development on this site has potential to impact on the views from Arley Cottage to the west. At present the mid-C20 buildings rising above the river are screened by trees and falling topography. Thus the principal impact will be on those elements of significance derived from the setting of Arley

	<p>Cottage.</p> <p>Arley House Registered Park and Garden NHLE1000872:</p> <p>There is limited inter-visibility between the site and the Registered Park and Garden due to the topography and intervening buildings, however from several locations outside the Conservation Area especially to the south and west there is good co-visibility of the site and the Registered Park and Garden. Development on this site thus has the potential to impact on those elements of the significance of the Registered Park and Garden derived from its setting in the wider landscape.</p> <p>Upper Arley C of E Primary School, School Bank, Upper Arley WSM66851:</p> <p>Although situated close to the site the topography and dense hedgerows will restrict most inter-visibility and thus the impact on the significance of WSM66851 is low.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Limited mitigation.</p> <p>Development on this site will be highly visible from the western parts of the Conservation Area. As the site is elevated above other development any development proposed should be of restricted height and utilise a palette of materials and colours which harmonises with those found in the village.</p> <p>The design of the development proposed should demonstrate how the Conservation Area is preserved or enhanced as a result of it (ref: P(LBCA)A 1990).</p> <p>The NPPF allows for the public benefits of development on this site to be weighed against the harm caused to the character and significance of the Conservation Area and other designated heritage assets as a result of the proposed development.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p>	<p>No.</p>

<p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>



Site Ref: WA/UA/6	Site Name: RED LION COURT BRIDGNORTH ROAD	Housing
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Crown Copyright 100018317

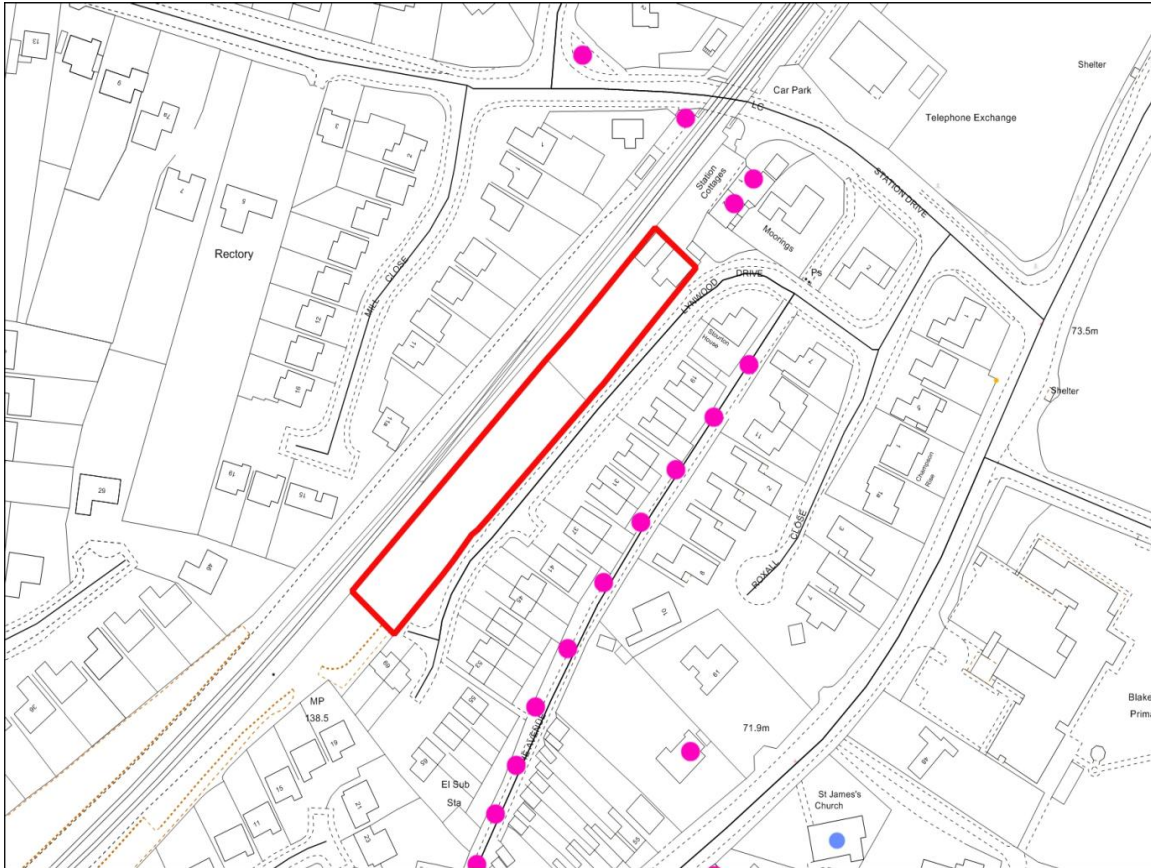
<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>No.</p> <p>No recorded designated or undesignated HE assets on or immediately adjacent to the site.</p> <p>Not applicable.</p>
<p>2a) What is the significance of the heritage assets?</p> <p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>Not known.</p> <p>Therefore the site is of unknown archaeological potential that should it be taken forward to development will require assessment.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p>	<p>Yes. Mitigation possible.</p> <p>No legible above ground heritage assets to protect. In terms of mitigating impact on potential below ground archaeology there will</p>

<p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>be a requirement for a desk-based assessment to assess this potential. It may be necessary to undertake fieldwork to fully understand the resource. Where development may result in the loss of archaeology, recording will be required by an appropriate professional.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WFR/CB/2

Site Name:  
STATION YARD  
BLAKEDOWN

Station Car Park



Crown Copyright 100018317

1 a) Is the site in proximity to Heritage assets?

Yes.

If yes,

b) What type of heritage asset?

No designated or undesignated historic assets on the site.

c) What is the proximity?

Undesignated heritage assets included on the Worcestershire Historic Environment Record:

Oxford Worcester and Wolverhampton Railway WSM31664;

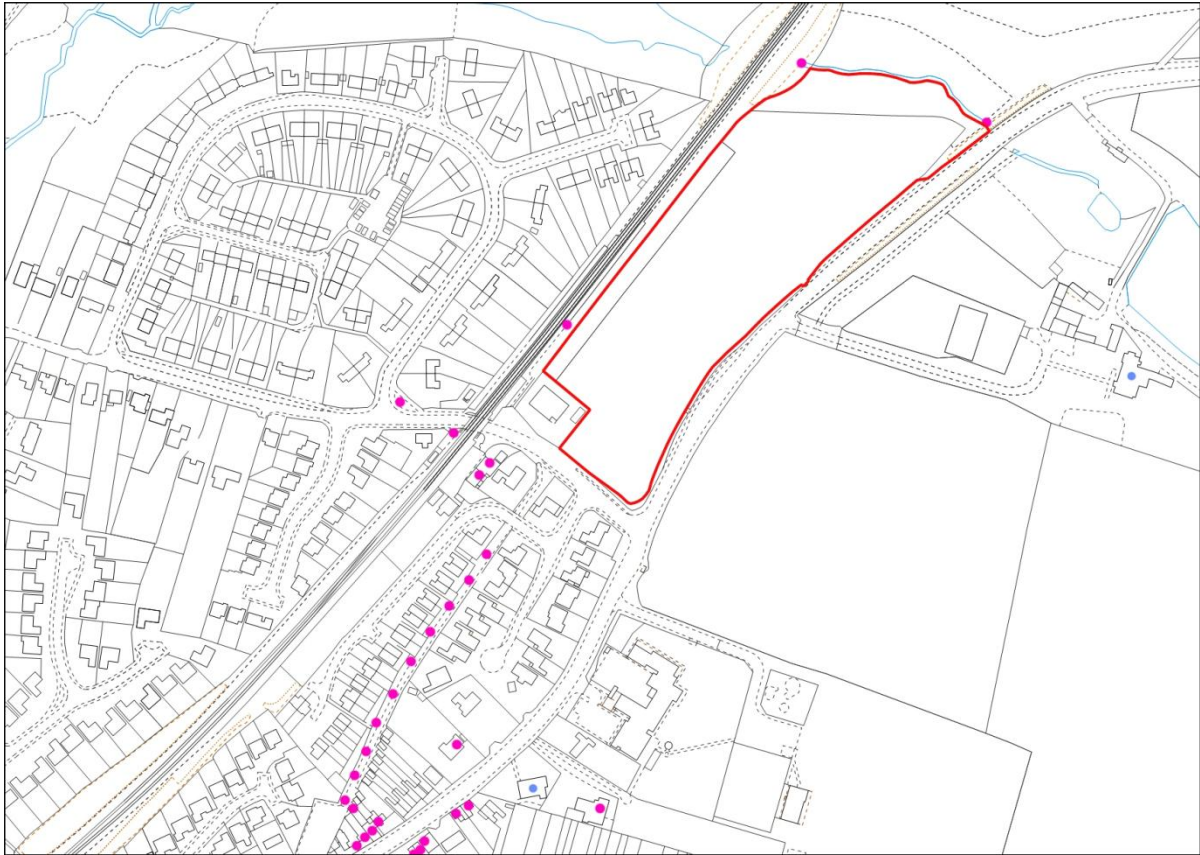
Undesignated heritage assets included on the Worcestershire Historic Environment Record and Wyre Forest Local Heritage List for Churchill and Blakedown:

Station Cottage, 1 to 2 Station Drive Blakedown WSM42878, WFDC Ref: LLCB059 & LLCB060;



<p>5) What further work is required?</p>	<p>Unknown potential for archaeology:</p> <p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WFR/CB/3 Revised 02/07/2019	Site Name: LAND OFF STATION DRIVE BLAKEDOWN	Mixed Use
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Crown Copyright 100018317

<p>1 a) Is the site in proximity to Heritage assets?</p> <p>If yes,</p> <p>b) What type of heritage asset?</p>	<p>Yes.</p> <p>No designated or undesignated historic assets on the site.</p> <p>Designated heritage assets included on the National Heritage List for England:</p> <p>Harborough Hall NHLE 1100689;</p> <p>Undesignated heritage assets included on the Worcestershire Historic Environment Record:</p> <p>Oxford Worcester and Wolverhampton Railway WSM31664;</p> <p>Undesignated heritage assets included on the Worcestershire Historic</p>
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<p>c) What is the proximity?</p>	<p>Environment Record and Wyre Forest Local Heritage List for Churchill and Blakedown:</p> <p>Blakedown Railway Station WSM15123; LLCB062;</p> <p>Undesignated heritage assets included on the Wyre Forest Local Heritage List for Churchill and Blakedown:</p> <p>Culvert under A456: CB107;</p> <p>Culvert under Railway: CB106;</p> <p>Harborough Hall NHLE 1100689 lies 175m SW of the site;</p> <p>Oxford Worcester and Wolverhampton Railway WSM31664 is adjacent to the NW boundary of the site;</p> <p>Blakedown Railway Station WSM15123; LLCB062 is sited 15m NW of the site;</p> <p>Culvert CB107 is located 10m E of the site;</p> <p>Culvert CB106 is located 30m N of the site;</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>Harborough Hall NHLE 1100689: This is a Grade II listed house dated 1635. Included for its historic and aesthetic (architectural) values contributing to medium significance.</p> <p>Oxford Worcester and Wolverhampton Railway WSM31664 was constructed c.1850-52 to accommodate GWR broad gauge but laid to standard gauge. Opened in 1852. At this location the railway runs through Blakedown Station (formerly Churchill and Blakedown) and then north east along an embankment over the culverted stream. It has medium historic and low aesthetic significance but negligible evidential or communal value.</p> <p>Blakedown Railway Station WSM15123; LLCB062 has low communal and aesthetic values with the exception of the signal box which is a separate undesignated heritage asset and the signboard which is a modern replica. Its</p>

<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>principal significance is historic as a railway station dating in parts to 1885.</p> <p>Culvert under A456: CB107 and Culvert under Railway: CB106 are historic brick built culverts carrying the stream under the road and railway respectively and date from the mid-19<sup>th</sup> century. They have some aesthetic and historic values but negligible communal and evidential values thus their overall significance is low/medium.</p> <p>Development on this site will impact only on the setting of the heritage assets identified above. It has most potential to introduce features in views from Harborough Hall (particularly along the driveway) which may affect its sense of isolation from the remainder of the village.</p> <p>No known built heritage assets on site therefore the historic environment potential of the site is unknown.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>Functional screening of the eastern boundary may reduce the visual impact on Harborough Hall and on views from Harborough hall towards the railway line.</p> <p>Site allocations policy can consider the above.</p> <p>Not applicable.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Not known.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Unknown potential for archaeology: Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of</p>

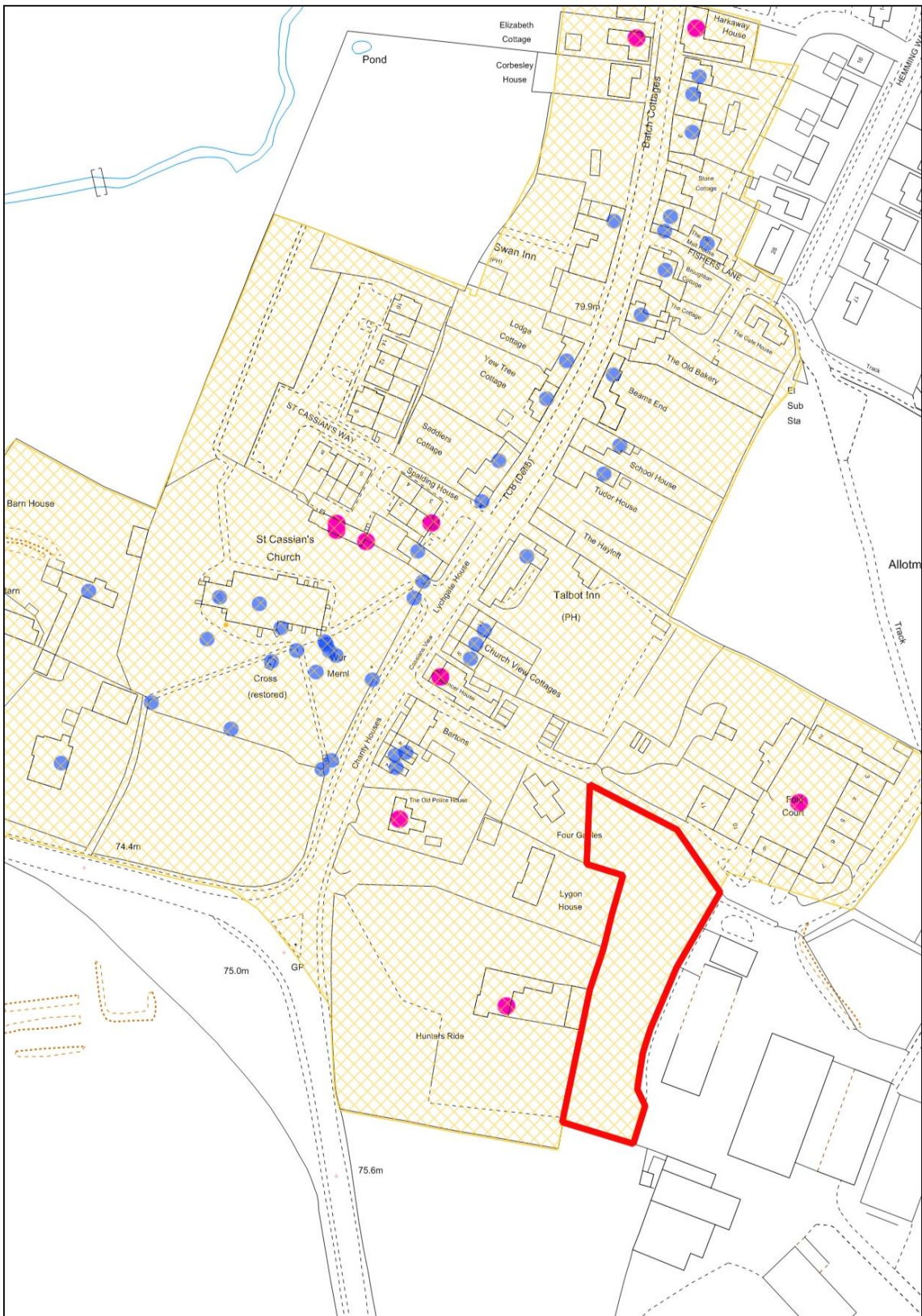


	heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.

Site Ref: WFR/CC/8

Site Name:  
FOLD FARM CHADDESLEY  
CORBETT

Housing





	<p>The majority of buildings in the Conservation Area are Listed, the oldest being the Church; whilst many date from the 17th and 18th Century. A few sensitively designed 20th Century buildings add to the mixture.</p> <p>The building styles in the village include timber-framed black and white, polite red brick Georgian and a hint of picturesque Gothic. The pattern of development is largely back of pavement and facing the street, with few gaps in the frontage. Many traditional plot boundaries and outbuildings survive intact.</p> <p>The majority of buildings are of two stories and roofing materials are pre-dominantly clay tiles.</p> <p>There are important spaces at either end of the village. At the southern end, on the west side, an old orchard provides an open setting for the church and views up the main street. Opposite this, on the east side, the grounds to Hunter's Ride balance the undeveloped entrance to the village. At the northern end of the village is an undeveloped gap between the old settlement and a more recent housing estate adjoining Briar Hill. From the north the village begins at Brook Cottage and the modern development on Hemming Way. Brook Cottage has pleasant surroundings balanced by open grazing land opposite.</p> <p>It is important to maintain the character of Chaddesley Corbett as that of a tightly packed settlement with a definite beginning and end, set in open countryside.</p> <p>There is an absence of street lighting in the Area, which helps it retain a rural and uncluttered feel.</p> <p>A principle contributor to the significance of Chaddesley Corbett is its defined tightly packed settlement pattern, set in open countryside.</p> <p>Hunters Ride, Chaddesley Corbett WSM10313 is a former vicarage the third building on the site and dating from the C19. Its grounds form an important undeveloped part of the Conservation Area and serve to define the edge of the village and Conservation Area, and separate from Lower</p>
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b) Will the proposed development have any impact on the significance? Please explain.

Chaddesley some 250m to the South. Its medium significance is thus partly its historic value and partly its aesthetic (architectural) qualities.

10 and 11 Fold Court (Fold Farm), Chaddesley Corbett WSM53860, WFDC Ref: LLCC115 is an undesignated former farmstead now converted to residential use. The surviving buildings surround a regular courtyard with an L plan range plus detached buildings to the fourth side of the yard. Its medium significance is partly its historic value and partly its aesthetic (architectural) qualities.

Development of this site will create infill and coalescence between the Conservation Area and the operational farm to the east.

One of the key characteristics of Chaddesley Corbett is that it is comprised of an historic linier settlement core with satellite areas of dispersed settlement.

There is very little of the Conservation Area that remains undeveloped following the construction of new housing immediately to the north of the church.

The site is one of only two parcels of undeveloped land within the Conservation Area, the other lying immediately to the south of St. Cassian's Church.

This site is important because it maintains a buffer between the built up residential part of the village and the surrounding agricultural landscape.

Development of this site will therefore impose a significant negative impact to the landscape character and setting of Chaddesley Corbett.

Development on this site will also affect the setting of two undesignated heritage assets included on the Worcestershire HER – it may be visible from both of them and affect inter-visibility between these two sites.

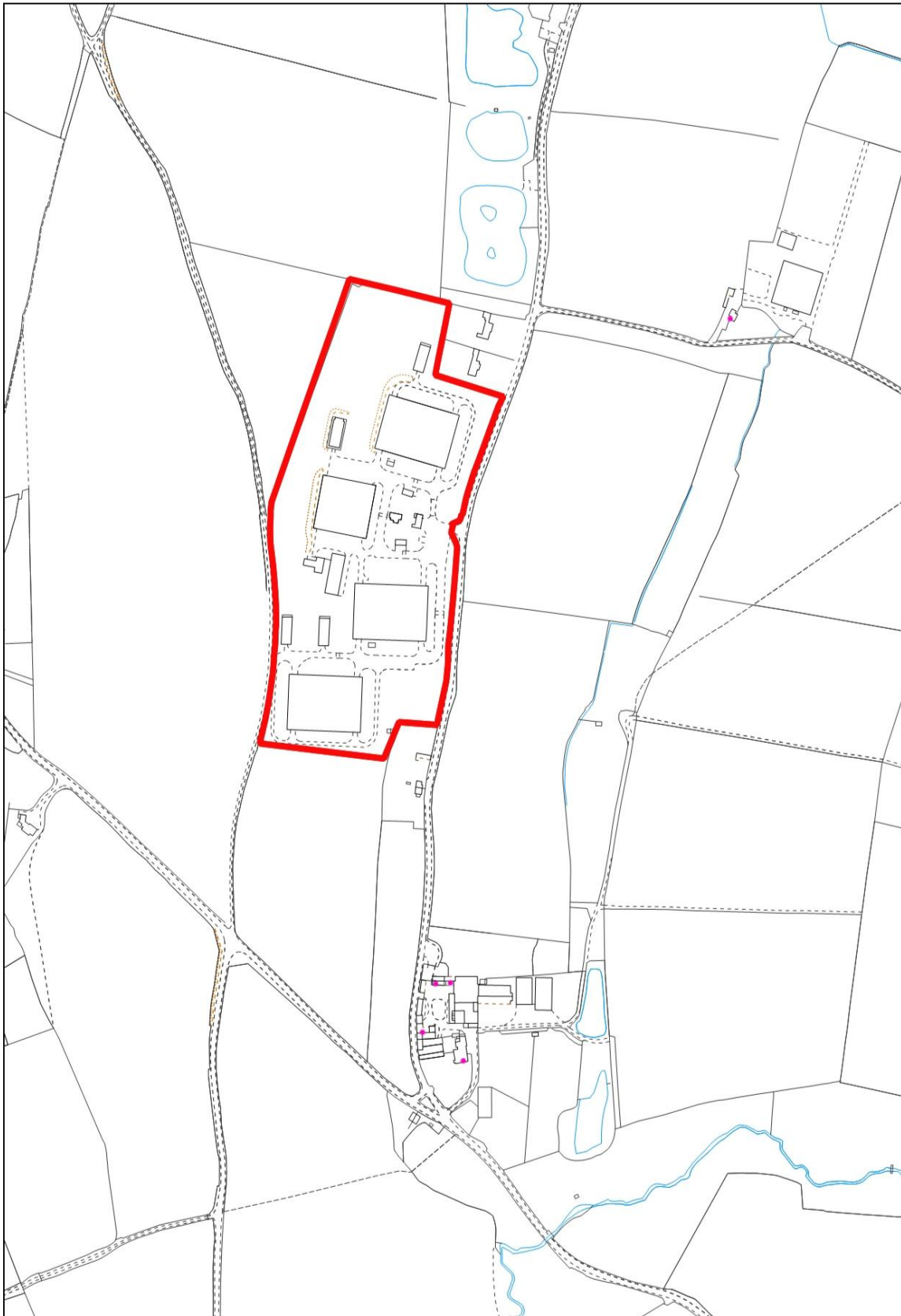
No known built heritage assets on site however given its context, the site should be considered of high archaeological potential

	that should it be taken forward to development will require assessment.
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes.</p> <p>The design of the development proposed should demonstrate how the Conservation Area is preserved or enhanced as a result of it (ref: P(LBCA)A 1990).</p> <p>The NPPF allows for the public benefits of development on this site to be weighed against the harm caused to the character and significance of the Conservation Area as a result of the proposed development.</p>
<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>No.</p> <p>Not applicable.</p>
<p>5) What further work is required?</p>	<p>Given its context the site has a high archaeological potential.</p> <p>Site will require a desk based archaeological assessment to identify potential for archaeology and inform discussions about the scope and scale of any preservation and mitigation. Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>

Site Ref: WFR/ST/9

Site Name:  
CURSLEY DISTRIBUTION  
PARK

Employment



Crown Copyright 100018317



<p>1 a) Is the site in proximity to Heritage assets? If yes,</p> <p>b) What type of heritage asset?</p> <p>c) What is the proximity?</p>	<p>Yes.</p> <p>Undesignated heritage assets included on the Worcestershire HER:</p> <p>RAF Depot Buildings, Cursley Lane, Rushock WSM41876;</p> <p>Ridge and furrow earthworks north of Bradford House, Chaddesley Corbett WSM69671&amp;WSM69672;</p> <p>Conjectural Route of Godham Way WSM30280;</p> <p>The Willows, Stone WSM53652 &amp; WSM61302;</p> <p>WW2 Air Raid Shelter, The Willows, Curslow Lane, Shenstone, Kidderminster WSM25033;</p> <p>WSM41876 is within the site boundary.</p> <p>WSM69671 &amp; WSM69672 lie 200m to the east of the site.</p> <p>WSM30280 is approximately 195m to the south of the site;</p> <p>WSM53652, WSM61302 &amp; WSM25033 lie immediately SE of the site.</p>
<p>2a) What is the significance of the heritage assets?</p>	<p>RAF Depot Buildings, Cursley Lane, Rushock WSM41876. This depot features various standardised building types dating from WW2. These include large warehouses designed to store aircraft components, secure storage (possibly for munitions) and various administrative buildings including those designed to withstand blasts with bunds surrounding their perimeters. The structures have historic and some aesthetic value as a group, and overall their significance is low/medium. Although an almost complete depot with most buildings still extant there are other better preserved examples of the architecture found here, such as those at Quedgeley, Gloucestershire and thus the national significance is low.</p> <p>Ridge and furrow earthworks north of Bradford House, Chaddesley Corbett</p>



<p>b) Will the proposed development have any impact on the significance? Please explain.</p>	<p>WSM69671&amp;WSM69672 provide evidence of medieval farming close to the site and have historic significance.</p> <p>Conjectural Route of Godham Way WSM30280 is the assumed course of a Roman Road and the boundary of Ombersley Forest, thus is of historic significance.</p> <p>The Willows, Stone WSM53652 &amp; WSM61302 is a partially extant 19<sup>th</sup> century farmstead and has some historic value but low aesthetic value and thus its overall significance is low.</p> <p>WW2 Air Raid Shelter, The Willows, Curslow Lane, Shenstone, Kidderminster WSM25033 is a typical brick and concrete structure, one assumes this would have provided shelter for those working on the farm and thus is more extensive than a domestic shelter. It is of some historic and aesthetic value contributing to a low significance overall.</p> <p>RAF Depot Buildings, Cursley Lane, Rushock WSM41876: As most of the wartime buildings survive on this site, its redevelopment will result in the loss of some or all of the heritage assets, thereby diminishing the significance of those remaining.</p> <p>The Willows, Stone WSM53652 &amp; WSM61302: Development on the site has the potential to affect the setting of the farmstead and residential property, although the contribution its isolation contributed to its significance was lost when the depot was built.</p>
<p>3a) Are there mitigation measures that could overcome the impact/harm?</p> <p>b) If yes, explain further including how mitigation could be achieved through the local plan</p> <p>c) If mitigation is not possible, are there benefits that justify the development?</p>	<p>Yes. Mitigation possible.</p> <p>Structural assessment of the surviving buildings and building recording. Retain those structures suitable for employment use and incorporate into any scheme of development on the remainder of the site.</p> <p>Yes. Site allocations policy to reflect the above.</p> <p>Not applicable</p>

<p>4a) Are there any opportunities for development to enhance an asset or better reveal its significance?</p> <p>b) If yes, explain further</p> <p>c) Can the Local Plan be amended to achieve the enhancements?</p>	<p>Yes.</p> <p>Removal of some of the structures on the site and re-landscaping to improve the setting of the surviving undesignated heritage assets in the context of new development.</p> <p>Yes. Site allocations policy to reflect the above.</p>
<p>5) What further work is required?</p>	<p>Site will require a desk based archaeological assessment to identify potential for below ground archaeology and inform discussions about the scope and scale of any preservation and mitigation. A scheme of building recording is required for the surviving above-ground heritage assets.</p> <p>Where development may result in the loss of heritage assets, archaeological assessment and/or mitigation may be required to record and advance the understanding of their significance. Archaeological assessment to accompany or be incorporated into a Heritage Statement submitted with the planning application to identify the significance of on site assets that may be affected and to assess the impact of development on them and their settings.</p>